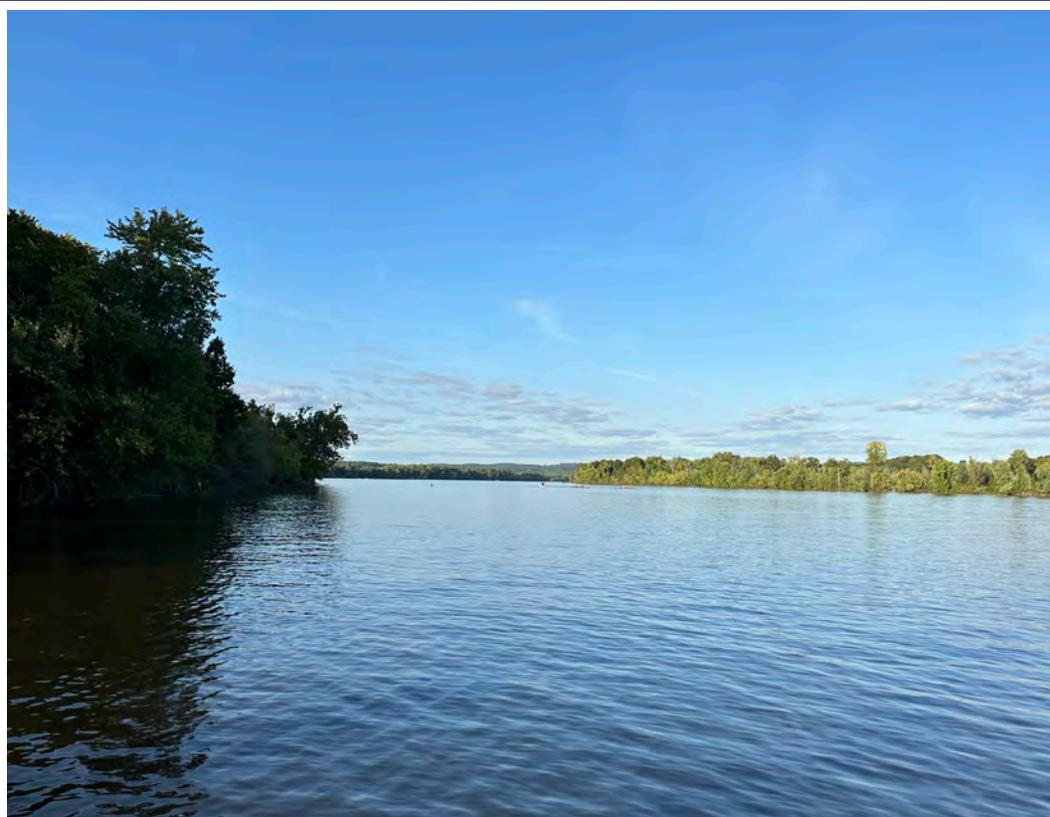


# TOWN OF CROMWELL PLAN OF CONSERVATION AND DEVELOPMENT

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DATE TK



[Acknowledgments]

[Letter from  
Planning and Zoning Commission]

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# INTRODUCTION

## Introduction

The Town of Cromwell (the Town) is a suburban community in Middlesex County and comprises approximately 13.5 square miles. Centrally located within the State of Connecticut, the Town is about 14 miles south of the City of Hartford and 28 miles northeast of the City of New Haven. Originally a part of Middletown called “the North Society,” and more commonly referred to as the “Upper Houses section of Middletown,” Cromwell was incorporated as its own municipality in 1851.

The Town's boundaries are defined by the Mattabesset River to the south and west and the Connecticut River to the east. The Town of Rocky Hill forms the Town's boundary to the north. Adjacent communities include the Town of Portland (east across the Connecticut River), the City of Middletown (south across the Mattabesset River), and the Town of Berlin (west across the Mattabesset River).

Cromwell's development patterns and landscapes have been significantly influenced by surrounding natural resources and its proximity to major transportation corridors. With the decline of the maritime industry in the early 1800s, Cromwell temporarily shifted its economic focus to farming. By the 1830s, capitalizing once again on the Town's waterfront location, small manufactories seeking Cromwell's waterpower began to dot the landscape. The J. & E. Stevens Company—manufacturer of cast iron hardware, hammers, and small iron toys—was the most notable company to locate in Cromwell during this period, remaining a major driver of the Town's economy for more than a hundred years. By the middle of the 20th century, major transportation routes (Interstate 91 and Route 9) crossed the Town's boundaries, enabling the Town to become a suburban community to its larger urban neighbors to the north and south.

These historical development patterns, in combination with its central location, have transformed Cromwell into a community of residential uses, economic opportunity, and conservation / open space land. Residential uses represent the core of Cromwell's development patterns, offering a mix of housing types and densities. Commercial and industrial areas are spread throughout the community, with higher concentrations along the major roadways in Town. Most of the Town's conservation / open space land is located along the corridors of the Connecticut and Mattabesset Rivers. This balance makes Cromwell an attractive community in which to live, work, and play.



↖ Town of Cromwell

## What Is a Plan of Conservation and Development?

A Plan of Conservation and Development (POCD, the Plan) is the official municipal statement that sets forth the goals and aspirations for future land use, development, and the environment within the community. Connecticut General Statute (Chapter 126, Section 8-23) requires the Planning and Zoning Commission (PZC) to prepare, adopt, and amend a POCD at least once every 10 years. In preparing the POCD, the PZC must consider physical, economic, social, and governmental trends and community needs. The POCD must remain consistent with state and regional plans.

The Town's POCD includes information about the municipality's current housing stock, infrastructure, economy, and natural resources. The POCD also outlines strategies for maintaining and improving these vital community components. POCD recommendations are drawn from data analyses and knowledge of the community and its government. The POCD is intended to guide public and private development in both the short and long term. A current and relevant POCD will allow land use and development decisions to be well-aligned with the community's vision, as well as state and regional goals. When considered together, the baseline conditions, strategies and action-based recommendations convey a roadmap to guide the community over the next decade.



➤ TPC River Highlands (via website)

## Plan Development Process

Creating a POCD or preparing an update to an existing Plan involves oversight from the PZC, public engagement, data collection, analysis, and synthesis, as well as a comprehensive review of existing state, regional, and local plans. The process involves assessing current conditions and trends and developing reasonable goals and strategies. Cromwell's planning process began in Summer 2022 and over the next 12 months included working meetings with the PZC and the Town's Planning and Development Department staff, who were responsible for reviewing data, identifying needs, refining the POCD's community-based Vision Statement, and associated community priorities on a range of topics, including housing, economic development, transportation, and natural resources.

Public engagement is an integral component to gathering the broad input required for a municipality's POCD vision. Cromwell's outreach efforts kicked off with an online survey to engage residents in the process and collect targeted feedback on their perspective and experiences within the community. The survey was hosted online and remained open from November 2022 to March 2023. The survey received 325 responses from community members and recorded a range of concerns, needs, and ideas for Cromwell's future (see **Appendix A**). Notably, 70 percent of survey respondents affirmed a positive quality of life in the Town of Cromwell.

In Spring 2023, the Community Vision Statement for the POCD update was finalized. Three (3) theme areas were also established to guide the POCD's contents and focus areas: **Live Well**, **Grow Well**, and **Play Well**. Chapter Four of this POCD describes each of these theme areas and associated goals, strategies, and action steps (see also **Appendix B**).

On September 21, 2023, the Town sponsored a community Open House to review the POCD's Vision Statement and associated goals, strategies, and action steps. Attendees were encouraged to participate by noting which goals, strategies, or action items were priorities.

**[Information TO COME re: Adoption.]**

Another essential component of a POCD is consideration of current state and regional plans and previously prepared local planning and policy documents. This review allows the community to reflect on their past goals and priorities and consider their position within the context of the region and state. Policy document review included the Town's previously developed POCD (prepared in 2007 and adopted in 2012), the State's *Conservation and Development Plan*, and the Lower Connecticut River Valley Council of Governments' (RiverCOG) *Regional Plan of Conservation and Development* (RPOCD). Chapter Six discusses the consistency of this POCD with these documents.

### How to Use this Plan

This POCD is not intended to be a static blueprint but rather a set of guidelines that can be dynamically applied to proposals and initiatives to assist with land use and development decisions. Due to the nature of the POCD, the goals and strategies in one section may not align directly with that of another. Therefore, thoughtful compromise and site-specific context must be considered when evaluating a proposal's conformance with the POCD. Other characteristics to be assessed regarding POCD conformance include how well the initiative or proposal fits within, or detracts from, the framework of goals, strategies, and action steps presented in this POCD, and how well the proposal is located relative to the Future Land Use Plan.



➤ Pierson Park





# CROMWELL TODAY

## Cromwell Today

The Plan of Conservation and Development (POCD, the Plan) process requires a review of existing conditions data to establish a community baseline, an assessment of recent trends and an evaluation of changes that have occurred since the last POCD was adopted. The data research presents a point-in-time context for developing community goals, strategies, and action steps and serves as the benchmark to assess progress over the next decade.

This chapter summarizes key trends that have shaped Cromwell over the past decade. The complete data analysis prepared for the Plan can be found in **Appendix C**.

## Demographics

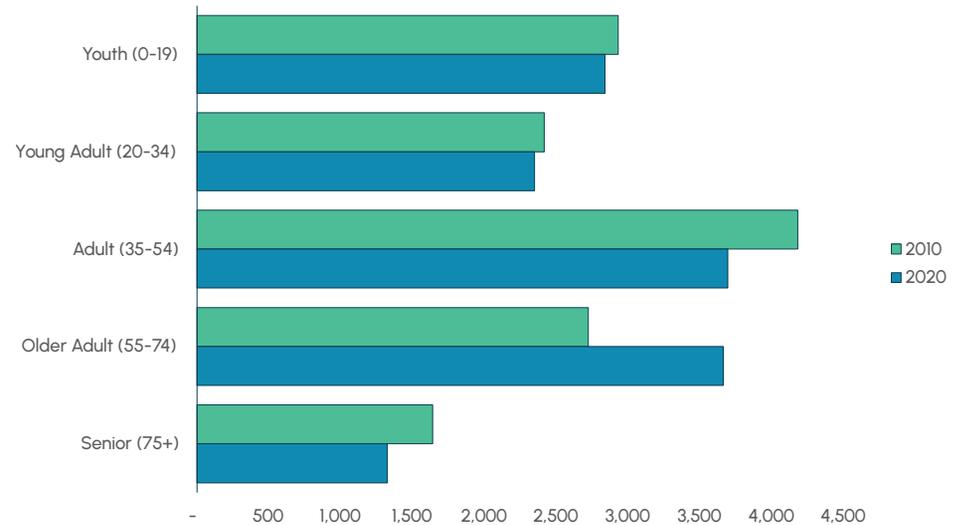
### Population

According to the 2020 US Census, the Town's population was 14,225. Cromwell's historic population trends are closely tied to the region's development history. The Town's population was just over 4,000 people in 1950 but grew 57.8 percent by 1960. This growth correlates to the expansion of statewide transportation infrastructure, such as Interstate 91 and CT Route 9, which intersect in Cromwell's northwest corner. Cromwell also saw a significant increase in population from 1970 to 1980 (38.6 percent), which is likely related to the growing interest in suburban environments and statewide migration out of urban areas, like Hartford. Since 2010, the Town's population has stabilized, which may generally be attributed to few large tracks of developable land remaining in the Town.

### Age

While Cromwell's population has stabilized over the last decade, the demographic makeup of the community continues to evolve, with the median age declining slightly between 2010 and 2020 (from 43.1 to 42.9).

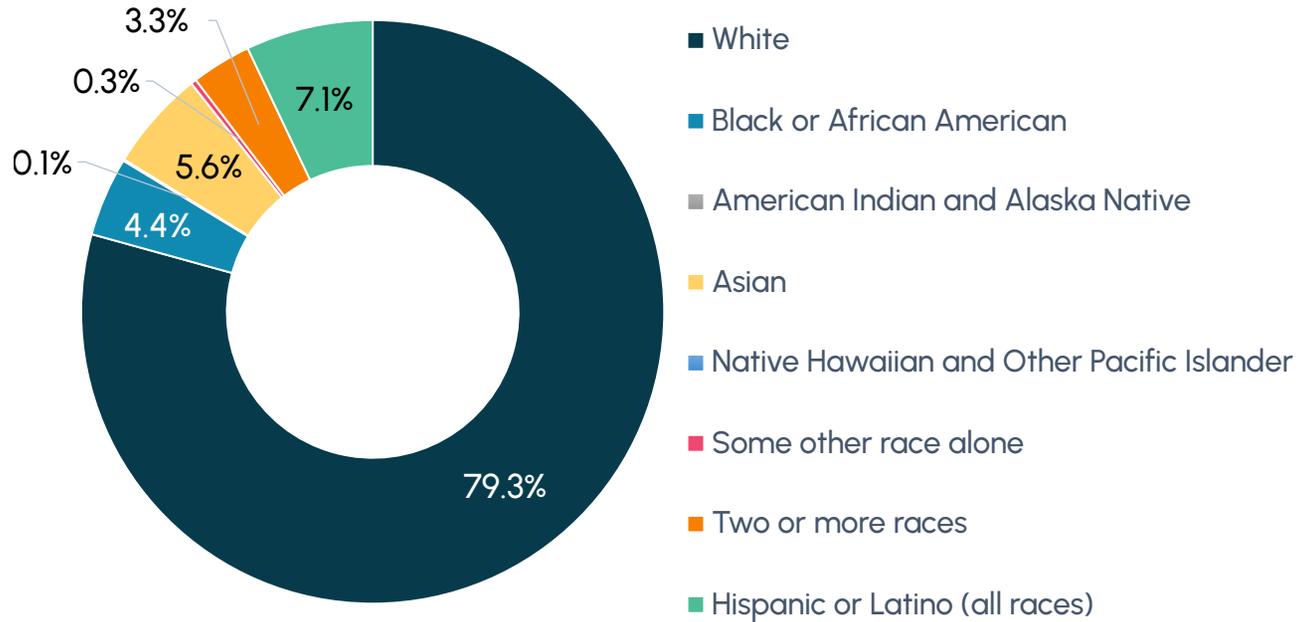
A further breakdown of age groups indicates the youth (0-19) and young adult (20-34) cohorts both declined by three percent. The adult (35-54) and senior (75+) cohorts also experienced notable declines of 11 percent and 19 percent, respectively. Meanwhile, the older adult (55-74) cohort experienced an increase of 35 percent, or 940 people, between 2010 and 2020.



↗ Age Group Cohort Population Trend  
(2020 American Community Survey 5-Year Estimates)

### Race

Cromwell's predominately white (79.3 percent) racial composition is nearly identical to that of Middlesex County. Between 2010 and 2020, the Town became somewhat more diverse, with significant increases in the Asian (71.2 percent) and Hispanic (58.5 percent) populations, which now make up 5.6 and 7.1 percent of the population, respectively, alongside a Black or African American population of 4.4 percent.



Racial Composition  
(2020 US Census)



Town Hall



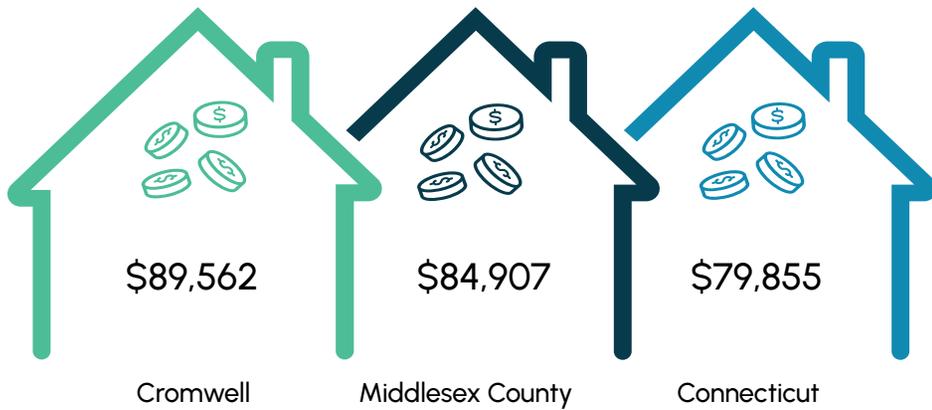
Senior Center

### Households

In 2020, Cromwell's average household size was 2.35, slightly larger than that of Middlesex County (2.31). Cromwell's apartment and condominium units provide options for one-person households, which comprise just over 35 percent of households in the Town.

### Household Income

Cromwell's household income is higher than that for both Middlesex County and the State. Between 2010 and 2020, the Town's median household income increased by 9.2 percent to \$89,556, 5.5 percent higher than Middlesex County (\$84,907) and 12.2 percent higher than the State (\$79,855).



↗ Median Household Income  
(2020 American Community Survey 5-Year Estimates)

### Education

Cromwell's educational attainment numbers are slightly higher than the State and County averages, with just over 53 percent of the 25+-aged population holding an associate degree or higher, as compared to 52 percent in the County and 48 percent in the State.

### Public School Enrollment

Cromwell's public school district includes four schools: Edna C. Stevens Elementary, Woodside Intermediate, Cromwell Middle, and Cromwell High. The Town has recently approved the construction of a new middle school to replace the existing facility. Results from the Community Survey indicate that 21.6 percent of respondents rate the quality of the public schools as "excellent," and 39.4 percent rate their quality as "adequate." The Town's historical school enrollment data, per the Connecticut Department of Education, shows that the school-aged population is steady, with enrollment declining by 10 students in five years. This marginal decline is consistent with the population decrease in the 0-19 age cohort.

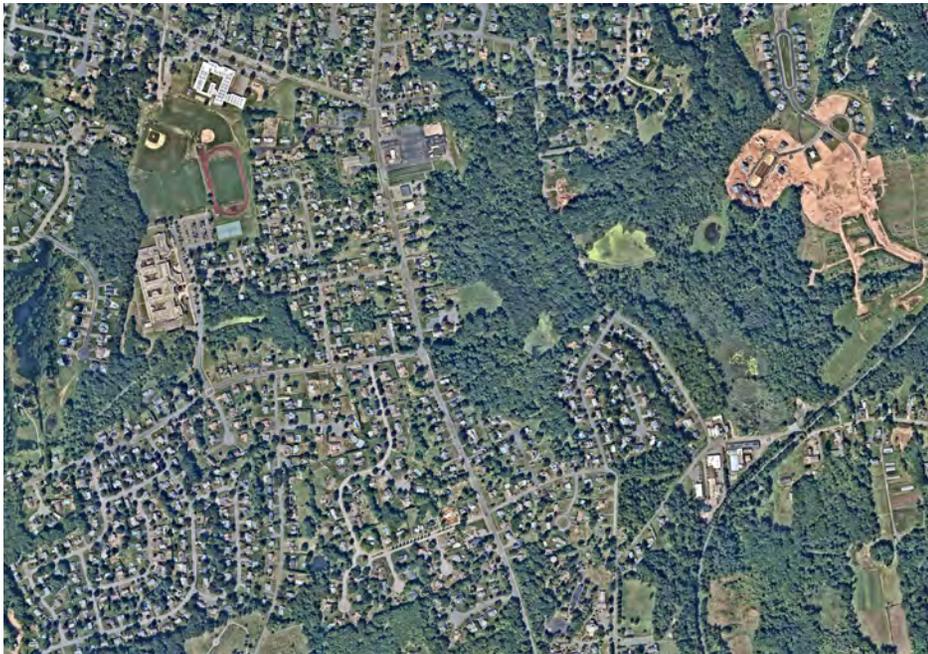


↗ Cromwell High School

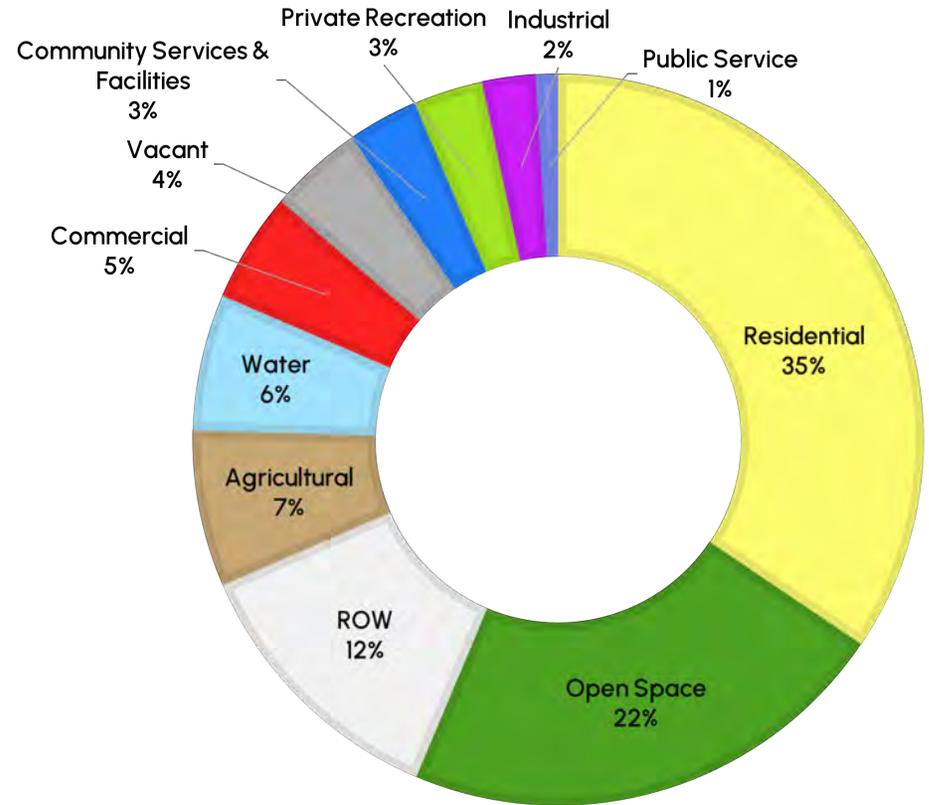
## Existing Land Use and Zoning

### Existing Land Use

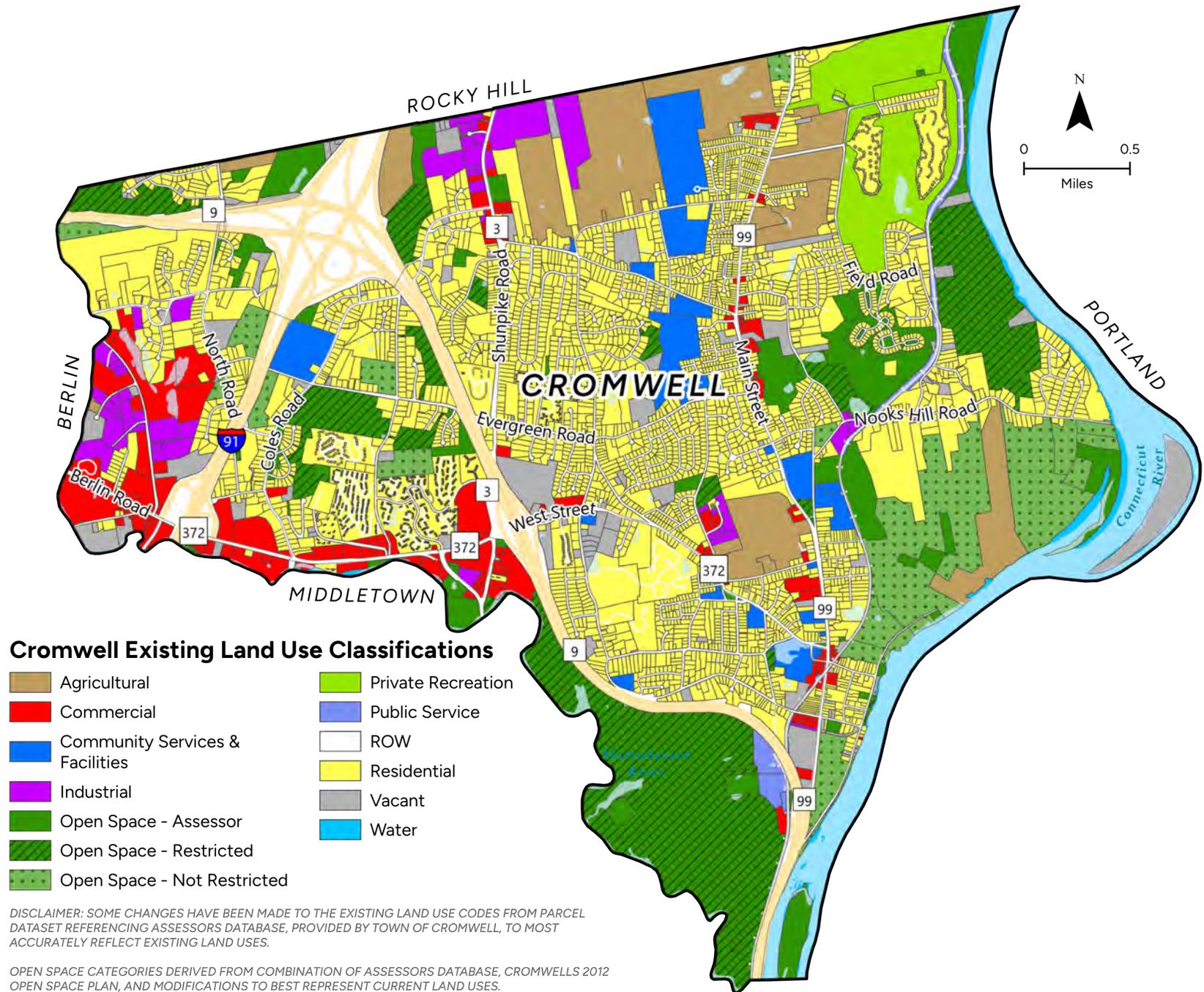
Cromwell is developed with a mix of residential, commercial, and industrial uses (see **Figure 1**). Residential uses account for 34.6 percent of Cromwell's total land area and can be found at varying densities throughout the community. Most of the Town's residences are single-family homes; however, Cromwell also offers several apartment and condominium complexes. Open Space makes up 21.6 percent of Cromwell's area and includes Town and State lands. Just over 1,200 acres of parks and open space are protected by easement, deed restriction, or other legal mechanism. Commercial land uses, most heavily concentrated along Route 372, make up 4.9 percent of Cromwell's area. Industrial land uses, comprising just 2.4 percent of the Town's land, are clustered on Sebethe Drive (off Route 372) and the northern end of Shunpike Road (Route 3).



↗ Main Street and Surrounding Area (via Nearmap, September 2022)



↗ Existing Land Use



◀ Figure 1: Existing Land Use

## Zoning

Cromwell's zoning regulations (see **Figure 2**) include residential (54.6 percent of land area), business and industrial (19.6 percent of land area), and special districts (18.8 percent of land area). Single Family Residential zones are found throughout the Town with densities of 15,000 (R-15), 25,000 (R-25), and 40,000 (R-40) square feet. The R-40 District is limited to the area west of Interstate 91 and south of Route 9, while the R-15 District is primarily located west of Route 99. The R-25 District is the most widespread residential zone. Cromwell's zoning regulations do not include multi-family zones; however, multi-family units are allowed by special permit in residential zone districts.

Cromwell's zoning regulations contain five business zones that allow commercial and industrial uses. Commercial zones—including the Downtown Cromwell, Highway Business, and Local Business Districts—are primarily located along travel corridors like Routes 99, 9, and 372. Pockets of commercial activity can be found throughout the Town. Most industrial zones in Cromwell are found along the Town's northern border neighboring Rocky Hill, with industrial uses dispersed through the community.

Cromwell's regulations also apply special districts including a riparian protection district, special flood hazard area, active adult housing, institutional development, mixed-use, and planned residential districts. The purpose of these zones is to guide and allow development for specialized uses provided they are compatible with the surrounding landscape.

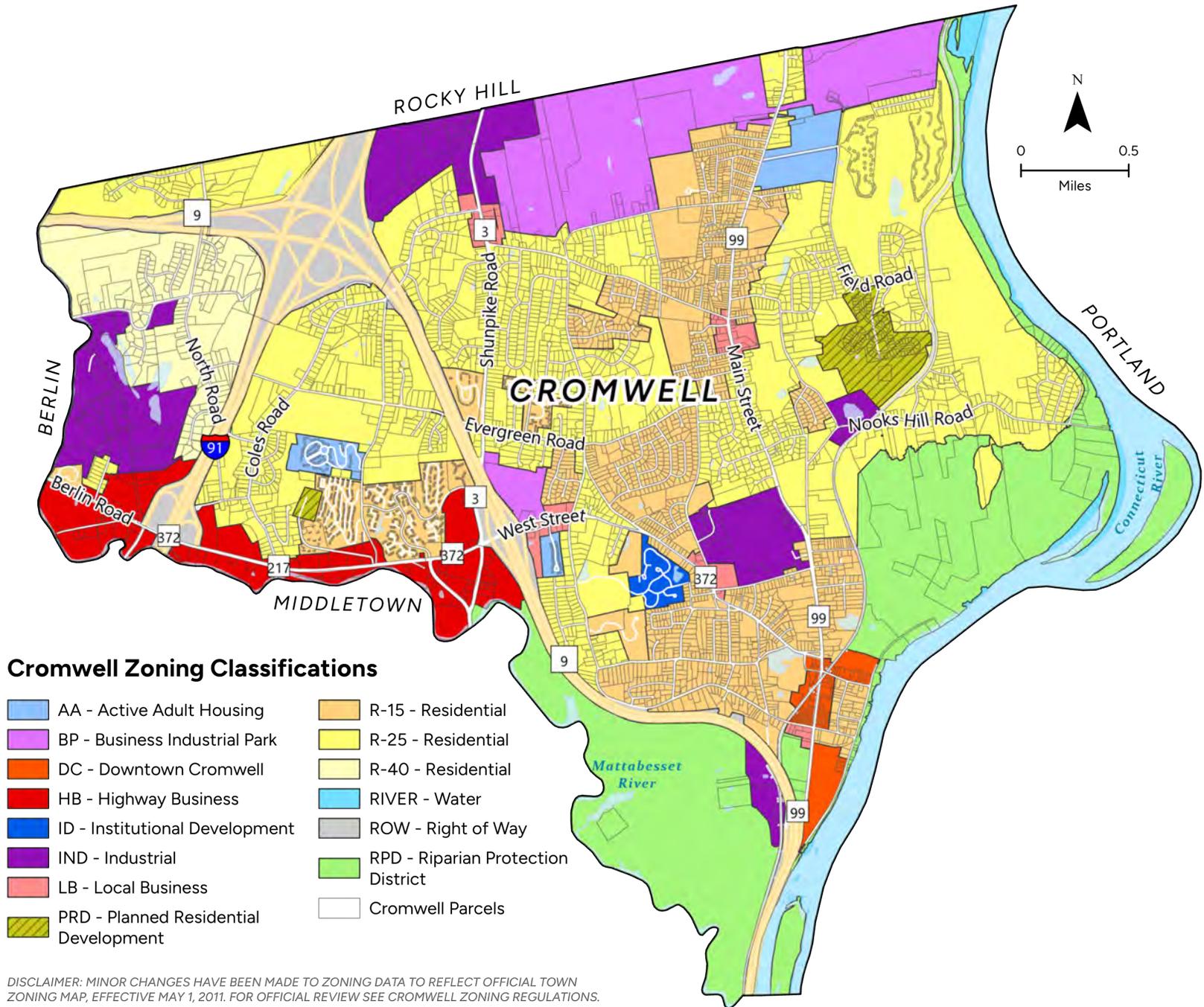


↗ Cromwell Town Sign



# TO COME

↗ Housing Image TO COME



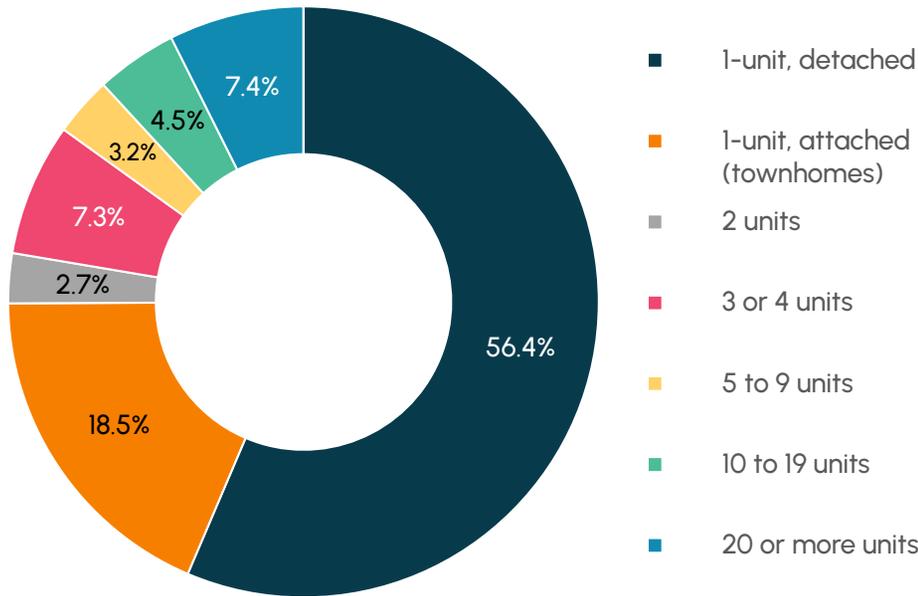
↖ Figure 2: Zoning

## Housing

Cromwell is developed with housing for families, adults living alone, and the senior population; fifty-six percent of the Town's housing units are single-family detached, 19 percent are single-family attached, and the remaining 25 percent of the Town's housing stock is a mix of multi-family developments ranging from two to 20 or more units. Community survey respondents were asked about the current supply of housing options in the Town; responses revealed "about the right amount" of large (65.6 percent) and small (67.7 percent) single-family homes and "too many" condominiums (59 percent) and apartments (39.7 percent). While the Town's population has remained relatively stable during the last decade, changing demographics can impact the community's housing demands. Survey participants generally indicate there are "about the right amount" of housing options for families, empty-nesters, and seniors.

Cromwell's housing tenure data are identical to that collected for Middlesex County, with 74 percent owner-occupied units and 26 percent renter-occupied units. According to Partnership for Strong Communities, the average renter in Cromwell dedicates 24 percent of their income to housing. The median monthly rent (\$1,347) is slightly higher in Cromwell than that in Middlesex County (\$1,174/month). Rental options are diverse, and just over 65 percent of the Town's rental units cost less than \$1,500 monthly. Cromwell also offers more luxury-end rental units (greater than \$2,500/month) when compared to the County.

Since 2010, Cromwell has seen a 5.3 percent increase in the number of housing units, of which 86 percent were single-family units. The Town has also recently approved multiple multi-family residential developments in addition to the single-family units.



↗ Housing Typology  
(2020 American Community Survey 5-Year Estimates)



↗ Home Values (Owner-occupied)  
(2020 American Community Survey 5-Year Estimates)

According to the 2020 American Community Survey (ACS), a majority of homes (65.2 percent) in Cromwell were valued at \$300,000 or less. In 2022, the Town saw 253 total home sales, which is well below the yearly sales prior to the Great Recession. Home sale prices have fluctuated over the years but have generally increased, with a 28 percent escalation in single-family home prices and a 41 percent rise in condominium prices since 2019. Per the Warren Group, the median home sale prices in 2022 were \$336,250 for a single-family and \$200,000 for condominiums.

The Department of Housing and Urban Development (HUD) recommends that no more than 30 percent of household income be spent on housing; this includes mortgages or rent, taxes, fees, utilities, and insurance. Households that spend more than 30 percent of their income on housing are considered cost burdened and may have more difficulty affording other life necessities. In 2020, approximately 47 percent of renter-occupied units and 24 percent of owner-occupied units in Cromwell are considered cost burdened. The senior population (65 years and older) is more likely to experience cost burden compared to other age groups, and about 40 percent of Cromwell's senior population falls into the cost-burdened category.

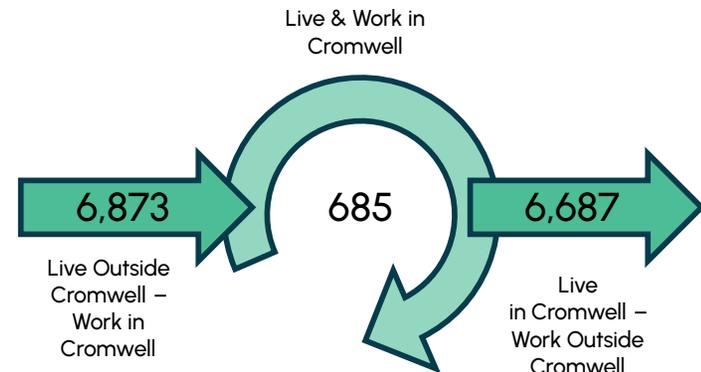
The State defines affordable housing as units that are deed restricted, governmentally assisted, receive tenant rental assistance, or have Connecticut Housing Finance Authority / US Department of Agriculture (CHFA/USDA) mortgages. CHFA/USDA mortgages are loans, made available for first-time home buyers that meet income and purchasing requirements for the respective programs. As of 2021, 394 (6.6 percent) of units in Cromwell are considered affordable by these standards, which is a one-percent decline since the early 2000s. Meanwhile, HUD has identified that 28 percent of households in Cromwell meet the definition of low income (making less than 80 percent of the area median family income).

In 2022, Cromwell adopted a State-required Affordable Housing Plan (AHP) and identified several housing affordability strategies to focus on over the next five years. The AHP's strategies are incorporated in this POCD. The Town also coordinates with the Lower Connecticut River Valley Council of Governments on regional housing issues.

## Economic Development

Cromwell's economy benefits greatly from its proximity to larger urban areas including Hartford, Middlesex, and New Haven Counties and its access to major transportation routes like Interstate 91 and Route 9. Cromwell is home to multiple commercial and industrial complexes that complement its residential community. The Town's primary commercial areas are along Routes 3, 372, and 99 and include shopping centers, restaurants, personal services, and offices. Community survey participants were asked how they feel about the mix of businesses/commercial establishments in Town; 80.2 percent of respondents noted that there are "too few" entertainment/cultural facilities, 38.6 percent feel there are "too many" warehousing/distribution facilities, and most participants indicate there is "about the right amount" of medical facilities (57.5 percent), retail stores (62 percent), and restaurants (49.5 percent).

Residents of Cromwell typically commute out of town for work, with Hartford (13.7 percent) and Middletown (8.6 percent) as the most common destinations. Cromwell's workforce includes in-bound commuters from neighboring communities, including 10 percent from Middletown and 5.5 percent from New Britain. The availability of more affordable housing in these adjacent communities is likely a key contributing factor to this commutation pattern.



↗ Inflow/Outflow Employment  
(2019 On the Map)

Cromwell's top three employment sectors are (1) health care and social assistance, (2) retail trade, and (3) accommodation and food services. Together, these three industries account for 43 percent of Cromwell's workforce. Top employers include Adelbrook Behavioral & Development, Stop & Shop, and Walmart, representing 8.5 percent, 5.0 percent, and 4.2 percent of the employment base, respectively. Various industries have expanded in Cromwell over the last decade; Administration and support and waste management and remediation services grew by nearly 200 percent (+ 317 jobs), and professional, scientific, and technical services grew by 77 percent (+ 121 jobs) since 2010 (per the Connecticut Department of Labor). Industries in decline included real estate and rental/leasing (down 23 percent, or 9 jobs) and accommodation and food services (down 19 percent, or 163 jobs).

Cromwell's grand list is less reliant on residential properties (59.9 percent) compared to the State average (66.1 percent). Commercial, industrial, and public utilities make up 18.6 percent of the Town's grand list. The Town's debt per capita is \$2,427, which is 3.4 percent less than the State median. Cromwell's equalized mill rate is 21.3, which is 1.3 percent higher than the State median.



↗ Main Street

## Transportation

Cromwell is situated in central Connecticut and benefits from Interstate 91 and Route 9 transportation infrastructure connecting southern Connecticut to the capital region. Traffic volumes are highest along the Route 372 corridor in southwestern Cromwell, particularly surrounding the on- and off-ramps for Interstate 91 and Route 9. This volume also directly correlates to crash hotspots in Cromwell (see **Figure 3**).

The Town is also served by two bus routes; CT Transit Hartford Division and the Middletown Area Transit. CT Transit runs a route along Main Street, and the Middletown Area Transit operates routes along parts of Route 3 and 372.

Cromwell has low walk and bike scores (39 and 34, respectively) compared to the national averages. While the Town has implemented various projects to increase pedestrian infrastructure, there is significant community consensus (60.7 percent) that there is not an adequate amount of active transportation options within Cromwell. Further expansion of active transportation should be explored by the Town.



↗ Interstate 91 and Route 9 Interchange (via Nearmap, September 2022)

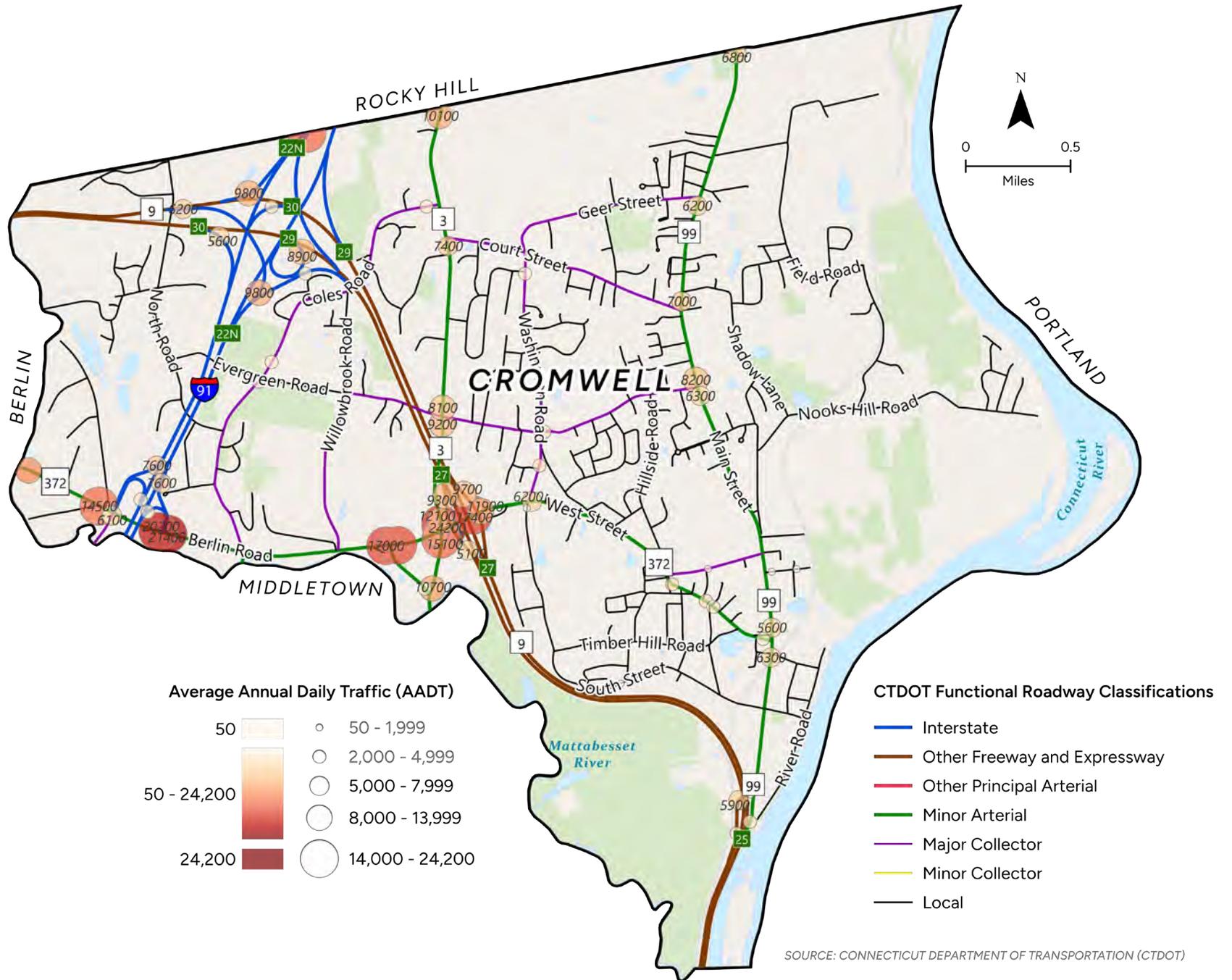


Figure 3: Transportation

## Natural Resources

Cromwell's natural resources are abundant and one of the Town's greatest assets (see **Figure 4**). The Connecticut and Mattabesset Rivers have shaped the Town, both literally and figuratively, by forming both the Town's eastern, southern, and western boundaries and providing critical aquatic, floodplain, and wetland habitat. Maintaining the integrity of Cromwell's large wetland complexes, like Dead Man's Swamp and Round and Boggy Meadows, is essential to sustaining water quality. Over time, pollutants and stormwater runoff have contributed to various Town rivers and streams being classified as impaired; while the rivers and streams have been improved over the last few decades, further improvements should be explored (see **Appendix C** for more information).

The Town's northeast corner consists of a significant aquifer protection area, which contributes to the public water supply. When asked if the Town is doing enough to protect these natural resources, survey participants generally indicated that Cromwell is doing enough to protect drinking water resources but not enough to protect wetlands, habitats, and scenic views.



↗ Connecticut River



↗ Agricultural Field along Geer Street



↗ River Highlands State Park

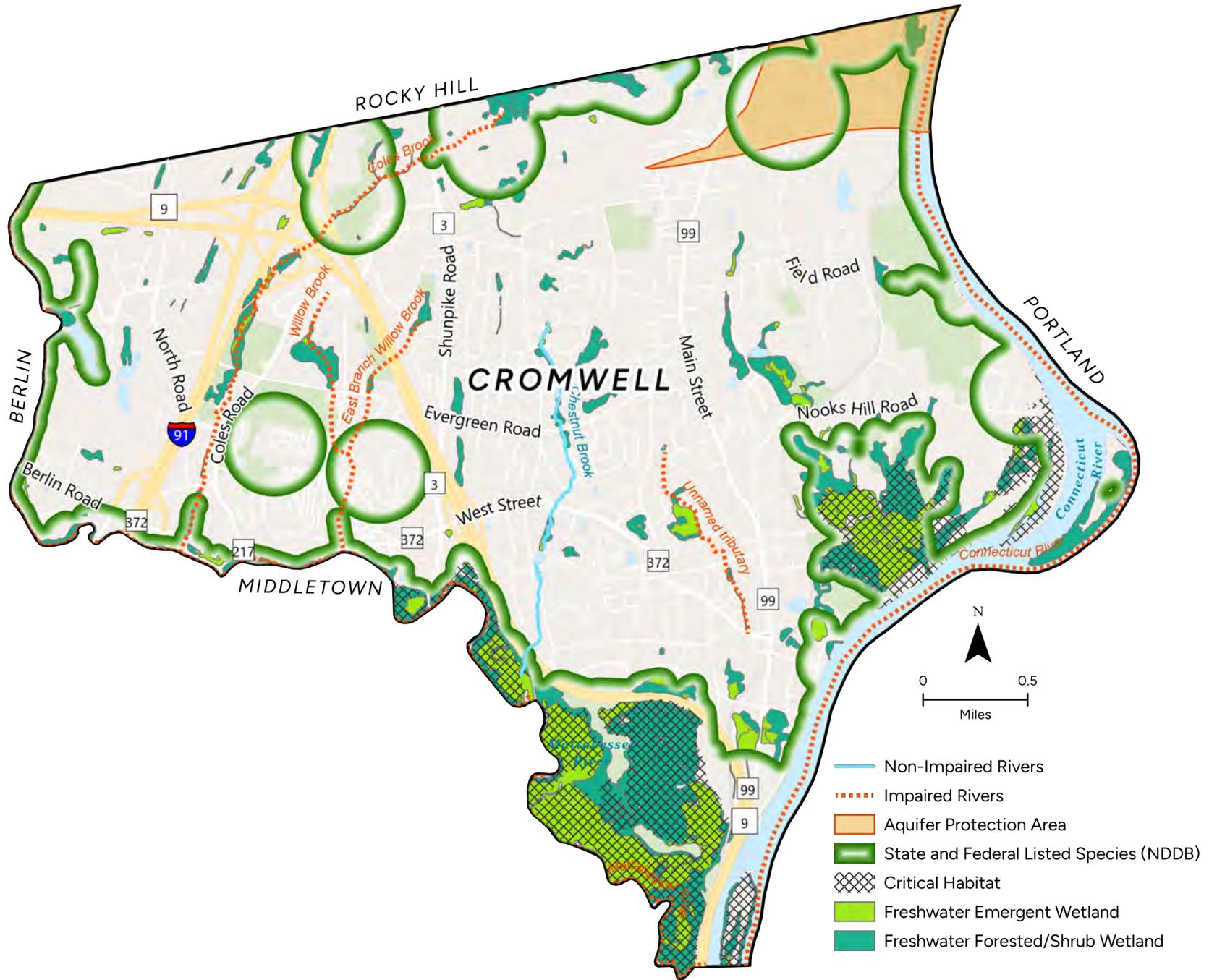


Figure 4: Natural Resources

## Climate Resilience

Prioritizing resiliency and climate adaptation is essential in planning a community's infrastructure and future development. With climate science evolving each year, Cromwell must consider the effects of a warming climate and implement measures to reduce the Town's risk. Current projections suggest that by 2050, Middlesex County could see a five-degree (Fahrenheit) increase in average daily temperatures and an eight-percent increase in average precipitation. Projections for that same time also suggest fewer frost days and more heat wave days, summer days, and tropical nights.

Such projections suggest that Cromwell's risk of climate hazards, such as flooding, hurricanes, winter weather, and dam breaches, will increase. Flooding along the Connecticut and Mattabeset Rivers is a primary concern for the community. Much of the land area, and some significant Town infrastructure, in south Cromwell falls within the 1-percent annual chance flood zones. To address some of these concerns, in 2021, the Town adopted a Hazard Mitigation Plan (HMP) in coordination with regional planning efforts; the three primary goals of the HMP are the promotion and implementation of sound flood management, the implementation of effective natural hazard mitigation projects, and an increase in research, planning, and outreach activities regarding natural hazard mitigation at the regional and local levels.

The community survey questioned how the Town should encourage resiliency and sustainability. There was significant agreement among participants that Cromwell should invest in capital improvement projects to protect Town property from storms, conduct more robust recycling and compost programs, and direct the Planning and Zoning Commission to amend codes and encourage low-impact development and other green infrastructure measures.



## Community Facilities and Infrastructure

Cromwell's community facilities include the Town Hall, Belden Public Library, public works facility, the police and animal control headquarters, three fire stations, a transfer station, post office, four public schools, and various parks and open space areas (see **Figure 5**). Survey respondents were asked to rate the quality of Cromwell's public facilities; the public library, police department, and fire district were generally rated as "excellent," while sidewalks, park facilities, and senior services were noted as "needing improvement."

The Cromwell Water Pollution Control Authority operates the Town's sewer system, which serves approximately 75 percent of the community. The remainder of the Town's development utilizes private septic systems. While most of Cromwell is serviced by municipal infrastructure, sewer avoidance areas are located along the Connecticut and Mattabeset Rivers. Cromwell's Department of Public Works also operates a stormwater system separate from the sanitary sewer system. Additionally, Cromwell's Water District provides public water to 99 percent of the community from four wells within the aquifer protection area located in the northern corner of the Town. Both sewer and water systems are expected to be able to meet present and future demands, through 2050 (see **Figures 6 and 7**).

The Town's commitment to maintaining and improving their facilities is strong, with plans to construct a new middle school to replace the existing facility approved. Various parks and community fields are scheduled for upcoming renovations, and ongoing projects include various drainage studies, the West Street Sidewalk Connectivity project, and continued implementation of the Pavement Management Plan for road maintenance.



↗ Cromwell Belden Public Library

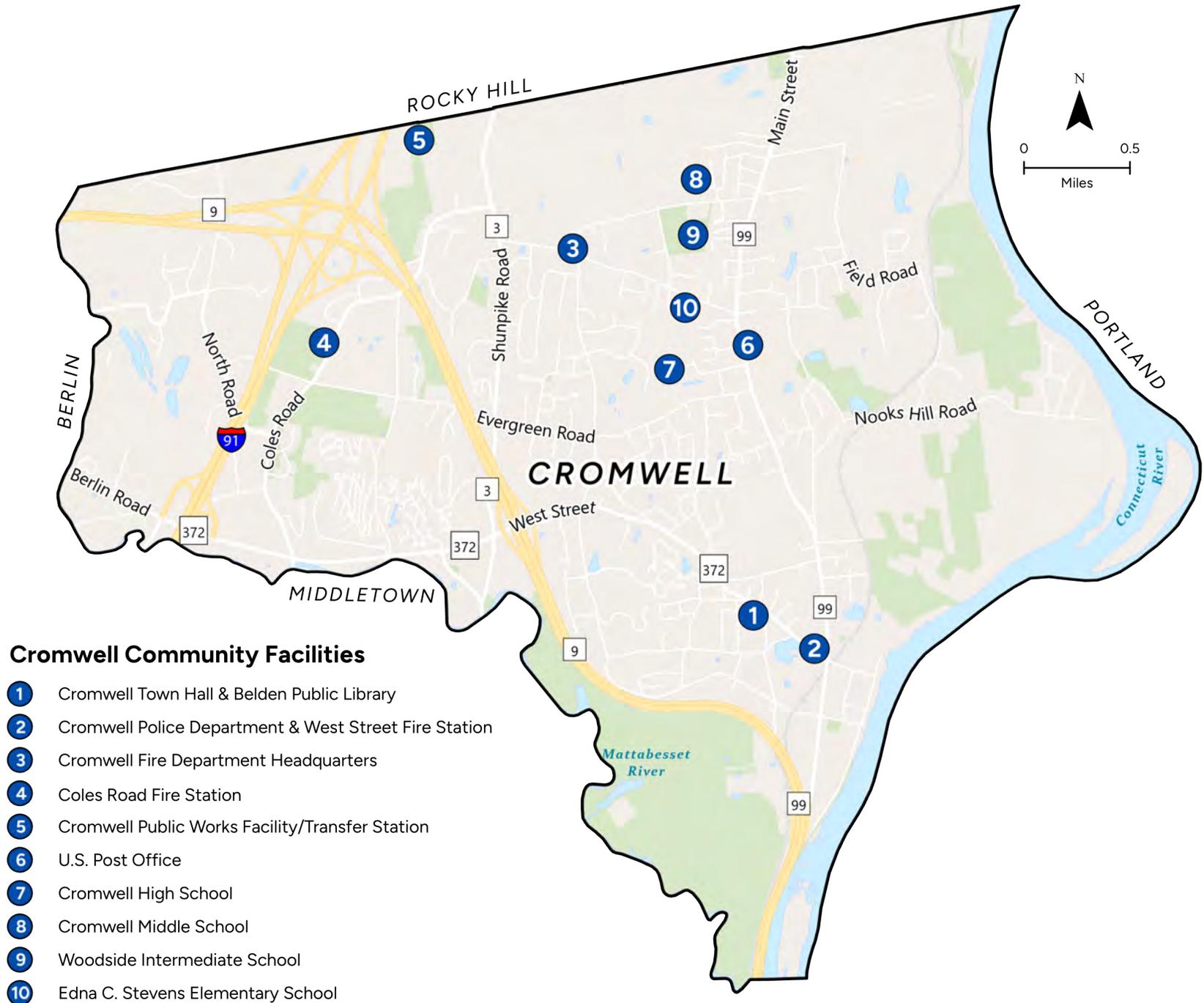


Figure 5: Community Facilities



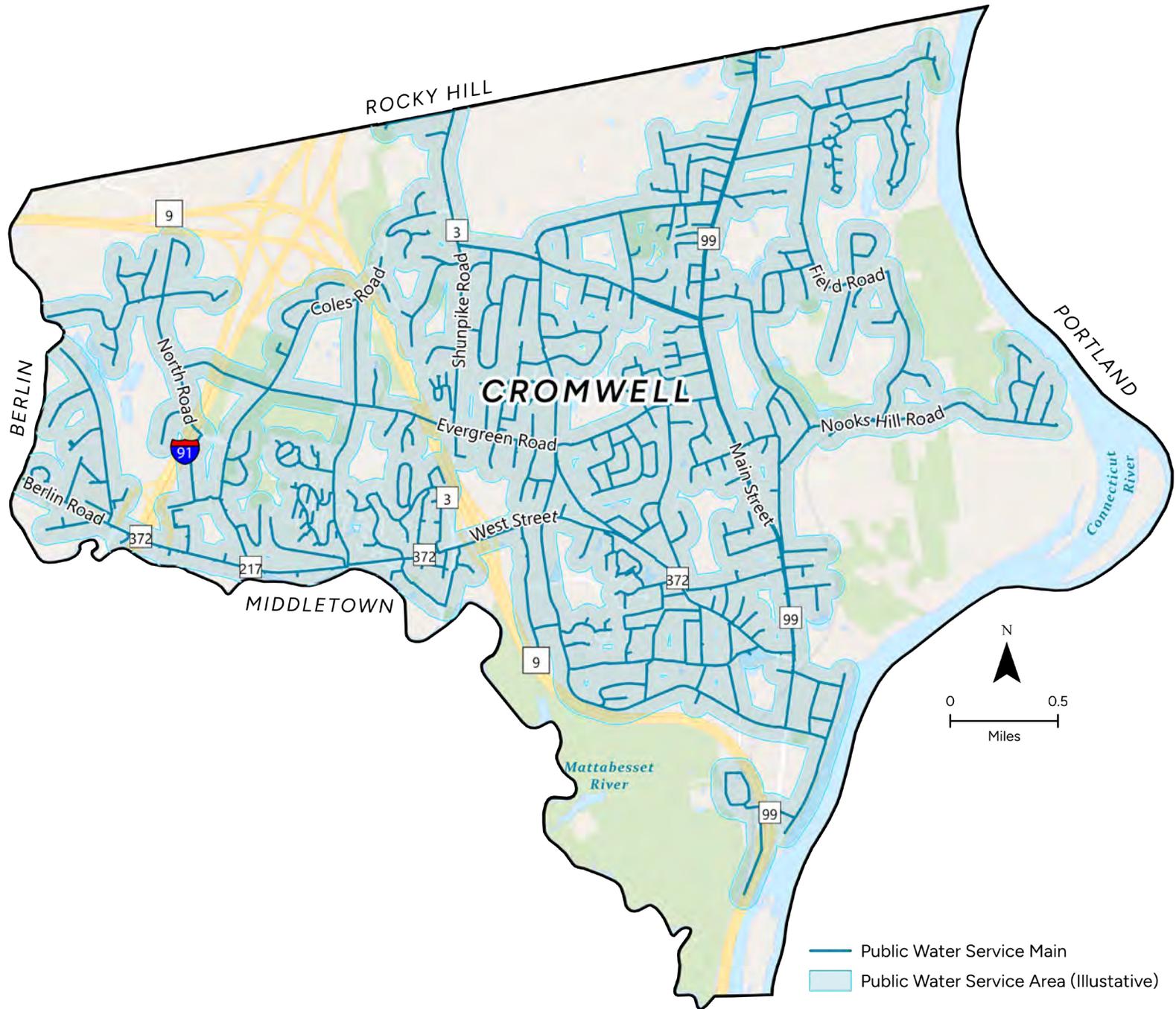


Figure 7: Water Services

## Parks, Recreation, and Open Space

Cromwell's ample natural resources and rolling-hill landscape provide for a variety of recreational spots within the community (see **Figure 8**). Both State-owned and Town-owned properties in Cromwell offer passive and active recreational opportunities, including hiking, hunting, and fishing. State-owned properties, such as the River Highlands State Park, Cromwell Meadows State Wildlife Management Area, and the Connecticut River Wildlife Area, include open space and a range of habitat conditions for wildlife. Town-owned parks include Cromwell Landing and Riverport Park along the Connecticut River, as well as Evergreen Hill, Pierson, and Watrous Parks. Pierson and Watrous Parks offer basketball and volleyball courts, tennis courts, baseball fields, as well as football fields (Pierson Park only). Evergreen Hill Park is a passive recreation site and home to Cromwell's Community Gardens. Community survey respondents indicated the Town could use more hiking trails and places to bicycle, skate, or skateboard. Respondents also note the right number of recreational programs for young children and adults, with interest in more programming for teens.

Cromwell's 2012 Open Space Plan identified significant open space parcels and their protection levels. Cromwell includes 2,281 acres of open space, of which 53 percent is protected by conservation easement, deed restriction, or other legal mechanism. Of the 2,281 acres identified in the Open Space Plan, 1,163 acres are conserved and 586 are used for active or passive recreation. The remaining 532 acres are a mix of agricultural and residential uses.



↗ Pierson Park



↗ Connecticut River



↗ Watrous Park



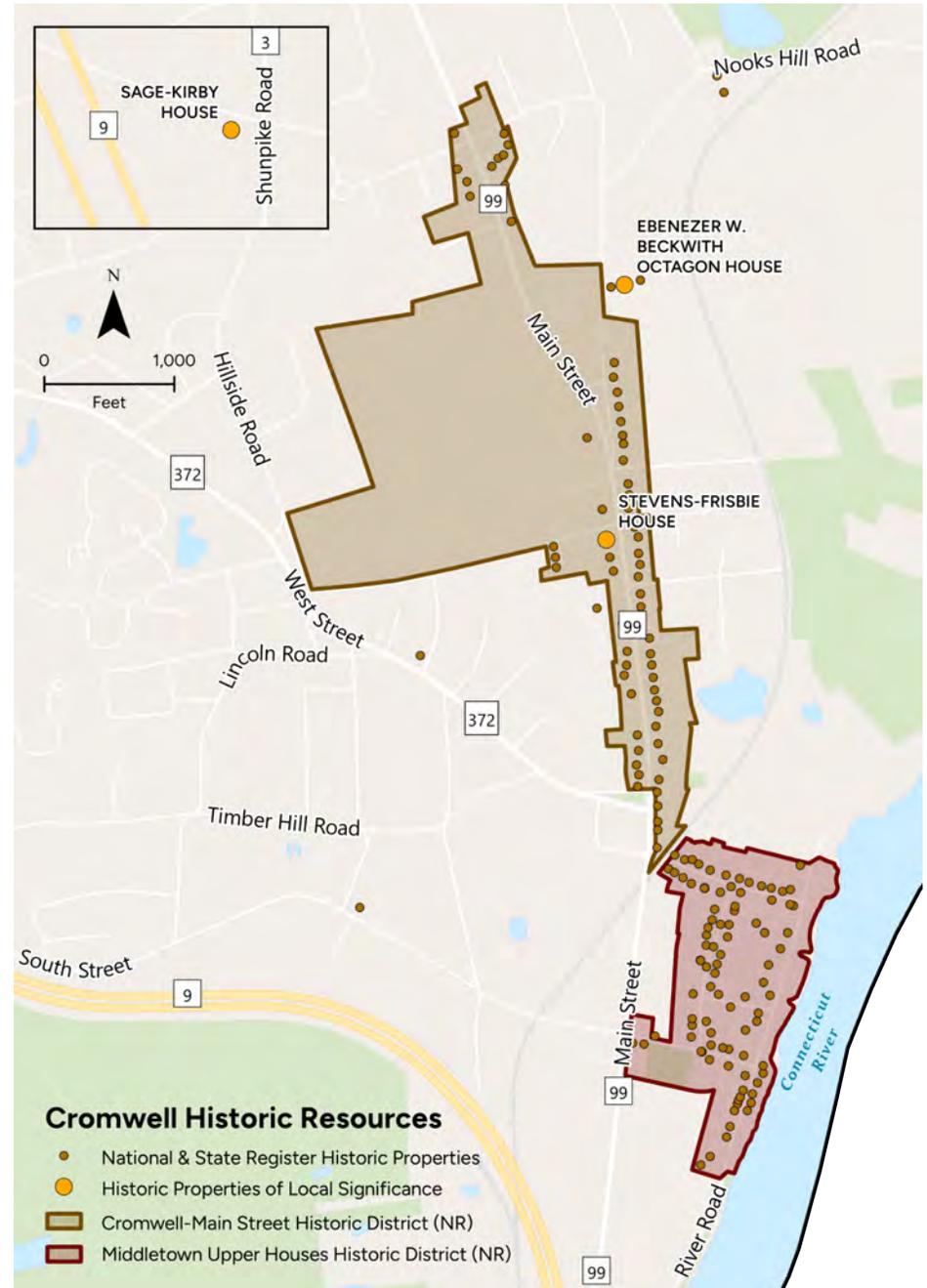
Figure 8: Parks and Open Space

## Cultural and Historic Resources

The Town of Cromwell contains two national historic districts: the Middletown Upper Houses and Main Street Historic Districts (see **Figure 9**). Middletown Upper Houses Historic District is a small residential area along the banks of the Connecticut River that served as the center for 18th-century Cromwell. Buildings in this district date from 1750 to 1810. The Main Street Historic District is home to the Stevens-Frisbie House and serves as Cromwell's Museum of Town History. Much of the architecture found on Main Street can be attributed to the success of the J. & E. Stevens Company, as many of the wealthy members of the company built their homes here. Other historical structures in Town include the Sage-Kirby House, built in 1811, and the Ebenezer W. Beckwith Octagon House, one of very few of this architectural style found in the State. Holy Apostles College and Seminary includes several historic buildings, in addition to the Ebenezer W. Beckwith Octagon House.



↗ Stevens-Frisbie House



↖ Figure 9: Cultural and Historic Resources



# **VISION FOR CROMWELL'S FUTURE**

## Vision for Cromwell’s Future

Nestled between the Connecticut and Mattabeset Rivers, the Town of Cromwell is the gateway to the Lower Connecticut River Valley. The Town’s central location offers convenient access to Middletown, Hartford, and New Haven, while our picturesque riverfront is accessible by boat from the Long Island Sound. Residents value our small-town feel and appreciate the sense of community, natural resources, and the variety of nearby entertainment destinations reachable via several major thoroughfares. This Plan of Conservation and Development (POCD, the Plan) will serve as a roadmap for sustaining continued growth and prosperity and, most importantly, will provide an invaluable vision for our community to:

### Live Well, Grow Well, Play Well, Cromwell!



#### Live Well

The Town of Cromwell remains primarily residential and is a desirable location for people in all stages of life; our embrace of cultural diversity enhances the Town. Our Town’s sense of community is embodied through our neighborhoods, schools, youth sports, and the businesses we frequent. We recognize our responsibility to maintain and improve our assets that enhance residents’ quality of life. Cromwell will continue to encourage appropriate housing options for all stages of life and lifestyles, with a focus on diversity and affordability. In addition, the Town will provide enhanced facilities and infrastructure to support a safe, active, and engaged community.



#### Grow Well

The Town of Cromwell recognizes that sustainability and the need to grow over time as a complete community are essential to maintain and achieve a balanced quality of life. Shaped by our natural resources, we acknowledge the importance of environmental features. The floodplains, wetlands, and riparian zones of Cromwell’s southern and eastern borders provide critical ecosystems that protect wildlife and property in the community. The Town will continue to protect the integrity of these resources and manage remaining open spaces as appropriate. The Town will also investigate means for securing the community and its infrastructure to be more resilient against climate events like flooding and storm surge. Cromwell’s balanced growth strategy includes thoughtful development that utilizes existing infrastructure to maintain and supplement commercial, mixed-use, and/or industrial opportunities, while managing the uniqueness of existing residential areas.



#### Play Well

The Town of Cromwell offers shopping, dining, cultural, and recreational activities for its residents and visitors, while envisioning an expansion of these services. A primary goal of this POCD will be the development of our riverfront as a destination for boaters, river enthusiasts, residents, and visitors. Cromwell Creative District’s events and murals help promote the Town’s historic district and sense of self. Improving our parks and boosting our recreation services will stimulate public health and the overall well-being of our community. Our POCD also includes collaborating with the Lower Connecticut River Valley Council of Governments to connect the Air Line State Park Trail to expand the trail through Cromwell, Middletown, and Portland, so walkers, hikers, and bicyclists from across the State are drawn to this area for the inspiring views, relaxation, solitude, and amenities that the Trail and Cromwell have to offer.



# THEME AREAS

## Theme Areas

Chapter 3 established the community vision for Cromwell:

### Live Well, Grow Well, Play Well, Cromwell!

The Town will utilize this vision, and the **goals, strategies, and action steps** outlined in the following sections, to enhance the community's quality of life, balance growth with the community's interests, and add value to the Town's waterfront and existing parks and open spaces.



**TO COME**

↗ Housing Image TO COME



↗ Cromwell Farmers' Market



**TO COME**

↗ Park Image TO COME

# Live Well

## Vision



The Town of Cromwell remains primarily residential and is a desirable location for people in all stages of life; our embrace of cultural diversity enhances the Town. Our Town's sense of community is embodied through our neighborhoods, schools, youth sports, and the businesses we frequent. We recognize our responsibility to maintain and improve our assets that enhance residents' quality of life. Cromwell will continue to encourage appropriate housing options for all stages of life and lifestyles, with a focus on diversity and affordability. In addition, the Town will provide enhanced facilities and infrastructure to support a safe, active, and engaged community.

## • GOALS •

- **Continue to Maintain and Enhance Cromwell's Existing Neighborhoods**
- **Maintain a Balance of Housing Opportunities, including Affordable Options that Support Current and Future Residents' Needs**
- **Maintain and Improve Community Facilities and Infrastructure to Meet the Needs of Current and Future Residents**
- **Improve Transportation and Mobility Opportunities within the Community**
- **Balance Community Infrastructure with Natural Resource Management**

## Introduction

Quality of life is a key priority for the Town of Cromwell; its people are the heart of the community and are proud of its small-town feel. Residents expressed that improvements to school facilities and transportation infrastructure (roads and pedestrian and cyclist amenities) are a high priority for them. The Town has dedicated resources to such improvements with the recent approval for a new middle school and the continued work on the West Street Sidewalk Connectivity project. Residents also note that efforts to diversify housing options and encourage affordability are worthwhile, and Cromwell will continue to implement housing strategies that strive for balance among existing and new neighborhoods. Finally, residents also showed significant interest in community amenities that would enhance their quality of life, such as a town pool, community center, and riverfront development. The Town will engage with residents and continue to explore ways to enhance their quality of life in town.

Cromwell will implement the **Live Well** vision through the following goals, strategies, and action steps:

### Live Well Goal 1—Continue to Maintain and Enhance Cromwell's Existing Neighborhoods.

**Strategy LW1.1: Manage future growth responsibly and maintain a high quality of life for all residents.**

- Continue to ensure development applications are consistent with the Zoning Regulations and the Future Land Use Plan.
- Review the Zoning Regulations periodically to make sure the regulations are consistent with the Goals, Strategies, and Action Steps of the Plan of Conservation and Development (POCD).
- Continue to have development applications reviewed by other Town departments and agencies as required.

- Consider development opportunities in conjunction with existing land use patterns and those that take advantage of existing infrastructure.
- Consider the community benefits that new development or redevelopment applications would bring to the community.
- Consider development of residential design and performance standards for infill residential developments.
- Promote a network of recreation facilities proximate to all residential neighborhoods.
- Promote a variety of mixed-use development opportunities, where appropriate.

**Strategy LW1.2: Provide residents with a safe, active, and engaged community.**

- Continue to provide Town services at existing levels and explore expansion of services to meet the needs of current and future Town residents.
- Encourage Town residents to participate in the development review process.
- Continue to utilize existing communication methods to share information with Town residents and explore new means of communication as needed.

**Strategy LW1.3: Enhance and beautify existing and future neighborhoods.**

- Continue to seek grants for neighborhood improvement projects with a focus on expanding the sidewalk network in the Town.
- Continue to support Town maintenance programs (such as the Pavement Management Program) for neighborhood street repaving, landscaping, and signage.
- Support increased funding for the Town's sidewalk program.

- Support community organizations and collaborate on opportunities to strengthen their connections within the community.
- Continue to support community gardens within the Town.
- Evaluate opportunities for enhanced design standards and blight enforcement.



↗ Cromwell Police Department

## Live Well Goal 2—Maintain a Balance of Housing Opportunities, including Affordable Options that Support Current and Future Residents’ Needs.

### Strategy LW2.1: Provide a diverse housing stock that supports people of all age groups, income levels, and backgrounds.

- Continue to implement the goals and strategies of the 2022 Cromwell Affordable Housing Plan.
- Continue to coordinate with the Lower Connecticut River Valley Council of Governments (RiverCOG) on housing and the 2021 Regional Housing Plan.
- Continue to educate the community on the importance of having a diverse housing supply within the Town.
- Review demographic and housing composition changes periodically to adapt to changing demographic and housing issues and needs.
- Amend Zoning Regulations to include a variety of Accessory Dwelling Units.
- Support efforts to expand senior housing options, including affordable units to low and moderate-income seniors.

### Strategy LW2.2: Ensure new housing is suitable in type, location, and density to sustainably support Cromwell’s current and future residents.

- Continue to support new and diverse housing opportunities while maintaining the integrity of existing residential areas and infrastructure systems.
- Incorporate sustainable design requirements or incentives into the Zoning Regulations such as Low Impact Development (LID), energy efficiency, and green technology.

- Ensure that new housing is located in areas that can be supported by roads and infrastructure while protecting the natural environment.
- Promote the preservation of historic structures throughout the Town.



➤ Memorial Day Parade

## Live Well Goal 3—Maintain and Improve Community Facilities and Infrastructure to Meet the Needs of Current and Future Residents.

### Strategy LW3.1: Ensure Cromwell facilities and services are meeting current and future resident needs.

- Continue to work with utility providers to ensure that service delivery and service levels are sufficient to meet the needs of the Town's residents and businesses.
- Support the Sewer Department's efforts to maintain and expand the existing sewer system.
- Support the efforts of the Cromwell Fire District (Water Division) to implement the Water Supply Plan Update (August 2021) and the Plan's recommendations.
- Support the Town Engineer's efforts to fund and prepare a Cromwell Drainage Study.
- Continue to protect ground water within existing and potential public drinking water supply aquifers.
- Support efforts to provide support services to seniors who choose to age in place.
- Maintain a high-quality education system.
- Maintain high-quality police, fire, and emergency services.



➤ Cromwell Fire District

### Strategy LW3.2: Continue to invest in community facilities, services, and infrastructure.

- Continue to fund and expand, as financially feasible, existing Town maintenance programs for local roads, sidewalks, parks and recreation facilities, and Town-owned buildings.
- Support Public Works efforts to expand solid waste programs within the Town including leaf composting and organic food scrap composting.
- Support the development of an Americans with Disabilities Act (ADA) Transition Plan.
- Continue to support upgrades and expansion of school facilities.
- Continue to support the Library Department's community assistance efforts.
- Seek funding and grants to improve Town facilities and programs.
- Support efforts of the Town to create a community center and senior center.



➤ West Street Sidewalk Connectivity Project

## Live Well Goal 4—Improve Transportation and Mobility Opportunities within the Community.

### Strategy LW4.1: Promote multi-modal transportation options.

- Support efforts to fully develop a variety of transportation options within the Town including bus, automobile, bicycle, and walking.
- Continue to coordinate with RiverCOG on the Regional Transportation Plan to secure support and funding for Cromwell specific projects.
- Support the creation of a Complete Streets Policy and Plan for the Town.
- Work with CT Transit and Middletown Transit District to enhance transit service in Town.
- Support efforts to establish bike and pedestrian connections to Middletown and Middletown trails.
- Provide bus stops throughout Town as appropriate.
- Continue to support Cromwell Dial-a-Ride.
- Provide, fund, and appropriately maintain sidewalks to ensure pedestrian access to schools, retail, and employment centers as well as along major roadways.
- Coordinate with RiverCOG to develop a safe and convenient network of pedestrian and bicycle paths and greenways that connect to available public transportation and the region.

### Strategy LW4.2: Consider mobility and access to transportation when evaluating development proposals.

- Continue to coordinate with regional and state agencies on the evaluation of development proposals and the potential impacts to state and regional roadways within Cromwell.

- Encourage developers to make necessary road improvements that will accommodate projected increases in traffic and/or provide appropriate mitigation strategies.
- Promote traffic calming techniques, flexible design standards and context sensitive design standards on high volume streets throughout the Town to manage traffic flow.
- Encourage mixed-use development near or along transit corridors.
- Support efforts by major employers, developers, transit providers, and residents to encourage carpools, van pools, park and ride lots, and other similar recommendations.

## Live Well Goal 5—Balance Community Infrastructure with Natural Resource Management.

### Strategy LW5.1: Explore green development/technology and sustainable infrastructure practices.

- Continue to enforce appropriate regulations to protect ground water, floodplains, aquifers, and other natural resources.
- Incorporate green development and technology principles into the Zoning Regulations.
- Continue to enforce existing regulations for Best Management Practices for Stormwater Management and Non-Point Source Pollution.
- Continue to promote the use of on-site stormwater detention for all new development.

# Grow Well



## Vision

The Town of Cromwell recognizes that sustainability and the need to grow over time as a complete community are essential to maintain and achieve a balanced quality of life. Shaped by our natural resources, we acknowledge the importance of environmental features. The floodplains, wetlands, and riparian zones of Cromwell's southern and eastern borders provide

critical ecosystems that protect wildlife and property in the community. The Town will continue to protect the integrity of these resources and manage remaining open spaces as appropriate. The Town will also investigate means for securing the community and its infrastructure to be more resilient against climate events like flooding and storm surge. Cromwell's balanced growth strategy includes thoughtful development that utilizes existing infrastructure to maintain and supplement commercial, mixed-use, and/or industrial opportunities, while managing the uniqueness of existing residential areas.

## • GOALS •

- Guide Growth and Development to Ensure Consistency with Land Use Policies
- Protect the Integrity of Natural Resources
- Build a Resilient and Sustainable Cromwell
- Expand Cromwell's Economic Base to Best Serve Residents, Businesses, and Visitors



↗ Commercial Area at Intersection of Route 372 and Route 3

## Introduction

Balanced growth between economic opportunity and environmental sensibility is essential to Cromwell's future; as the climate continues to evolve, the Town has a crucial role in making sustainability and resiliency a top priority in its growth strategy. Residents expressed that encouragement of more non-residential development was worthwhile but that the preservation of undeveloped land for open space is a higher priority. Community survey participants also discussed their concerns about over-development and attracting the right kind of commercial opportunities; Cromwell will explore this balanced approach towards economic growth opportunities by utilizing existing infrastructure areas and managing the Town's existing open spaces responsibly.

Cromwell will implement the **Grow Well** vision through the following goals, strategies, and action steps:

## Grow Well Goal 1—Guide Growth and Development to Ensure Consistency with Land Use Policies.

### Strategy GW1.1: Balance existing commercial, industrial, and residential patterns with new development opportunities.

- Continue to utilize the Future Land Use Plan within the POCD to guide appropriate type, scope, and location of future development.
- Continue to ensure that all Zoning Regulation updates and amendments are consistent with the POCD.
- Amend the Zoning Regulations to provide for a variety of mixed-use developments, where appropriate.
- Consider redevelopment opportunities in conjunction with existing land use patterns and infrastructure systems.
- Consider the community benefits that new development or redevelop application would bring to the community.
- Identify and protect heritage and recreation resources of local and Statewide significance.

### Strategy GW1.2: Ensure new development is aligned with existing public services.

- Continue to review development proposals for consistency with existing Town public services.
- Consider the impacts to Town public schools and park and recreation facilities and programs for new residential projects.
- Ensure new commercial and residential projects include accommodations for pedestrian and bicycle infrastructure.
- Continue to coordinate with CT Department of Transportation on State roads and on future improvements to state roads within the Town.

- Encourage new development to make fair share contributions, commensurate with project impacts, to ensure that reductions in quality of services, public facilities or programs do not occur.
- Continue to promote Cromwell as part of the larger Middlesex County region and coordinate future efforts to establish a regional approach to service delivery.

### Strategy GW1.3: Promote green infrastructure and development standards.

- Promote energy conservation and green development techniques in the design and construction of Town projects.
- Incorporate green infrastructure and development standards into the Zoning Regulations.
- Encourage applicants to pursue green development standards.
- Encourage new development to incorporate energy conserving and alternative energy systems and building systems that minimize energy consumption.



➤ Cromwell Farmers' Market

## Grow Well Goal 2—Protect the Integrity of Natural Resources.

### Strategy GW2.1: Ensure new development complies with environmental regulations.

- Continue to review and ensure new development proposals are compliant with existing environmental regulations.
- Continue to comply with state environmental regulations and update regulations as necessary.
- Protect and improve water quality of the Connecticut River Watershed.
- Continue to support the Town's Drainage Plan and LID standards.

### Strategy GW2.2: Enhance open spaces and continue to coordinate management efforts of open spaces.

- Support the Town's efforts to enhance and coordinate the use of open space.
- Encourage adequate funding for the maintenance of open spaces.
- Promote the development of an interconnected system of parks, trails and open spaces.

### Strategy GW2.3: Encourage preservation of unique and sensitive natural resources and open spaces.

- Continue to maintain and protect the unique and sensitive natural resources and open space within the Town's borders.
- Utilize grant funding as available to further the education and protection of the Town's unique and sensitive natural resources and open spaces.
- Work with regional and state agencies to identify and protect critical wildlife habitat and environmentally sensitive areas within its borders.

## Grow Well Goal 3—Build a Resilient and Sustainable Cromwell.

### Strategy GW3.1: Ensure facilities and infrastructure are resilient to changing environmental conditions.

- Support the Town's utility providers in their efforts to make the Town's infrastructure more resilient to changing environmental conditions and more frequent intense storm events.
- Support efforts by Town Departments to reduce the risks to life and property by upgrading and hardening Town facilities to be more resilient to changing environmental conditions and more frequent intense storm events.
- Encourage the exploration of alternative energy options for Town facilities and equipment such as locating solar panels on Town building and properties.
- Continue to implement the Goals, Objectives, and Recommended Mitigation Actions of Cromwell's Annex to the 2021 RiverCOG Hazard Mitigation Plan Update.
- Continue to participate in FEMA's Community Rating System (CRS) program.
- Support periodic tree limb inspection and maintenance programs to minimize potential for downed power lines.
- Maintain current Emergency Operations Plans, evacuation plans, supply distribution plans, and other emergency planning documents for the Town, as appropriate.
- Evaluate emergency backup power needs at critical Town facilities.

### Strategy GW3.2: Promote sustainability in Cromwell.

- Continue to participate in the Sustainable CT program.
- Incorporate sustainable development best practices around green energy, energy efficiency, and LID into the Zoning Regulations.
- Continue to encourage and promote energy efficiency upgrades to Town buildings and facilities.
- Continue to explore funding mechanisms (grants) and the feasibility of installing electric vehicle charging stations on Town property.
- Explore funding mechanisms (grants) for public projects to incorporate energy efficiency and sustainable building techniques.

### Strategy GW3.3: Engage Cromwell’s population on matters related to changing environmental conditions through outreach and education.

- Continue to utilize resident communication methods that the Town has in place for emergency situations.
- Continue to supply emergency preparedness information on the Town’s website.
- Continue to coordinate with other neighboring towns and River-COG on emergency preparedness.
- Continue to implement the Town’s Hazard Mitigation Plan.



↗ Old Red Train off Main Street

## Grow Well Goal 4—Expand Cromwell’s Economic Base to Best Serve Residents, Businesses, and Visitors.

### Strategy GW4.1: Promote economic growth, business retention, and expansion.

- Continue to enhance economic development and business regulations and processes to support existing Town businesses.
- Continue to maintain open communication with the Town’s business community and engage in discussions about business retention efforts.
- Support efforts to supply updated information to local businesses on grants and other funding opportunities.
- Continue to work with the Middlesex County Chamber of Commerce.
- Encourage and support communication with other neighboring towns and the region on economic development issues.
- Support the continuation of the local Farmers Market.
- Continue to work with local realtors to actively market vacant or underutilized commercial spaces.

### Strategy GW4.2: Provide opportunities for new economic development.

- Continue Town efforts to attract new businesses that support the needs of Town residents.
- Continue to support the appropriate development of the commercial zoned land in the Town.
- Encourage infill development and redevelopment of underutilized buildings and parcels.
- Work with the Middlesex Chamber of Commerce, the Connecticut Small Business Administration, and the Connecticut Small Business

Development Center to supply assistance to new and expanding businesses in the Town.

- Review Town regulation pertaining to home occupations to identify ways to expand allowability and processes for home-based businesses in an ever-changing business environment.
- Promote waterfront development as an economic development tool through the development of a waterfront plan.
- Promote mixed-use development in Historic Downtown to enhance commercial and cultural opportunities.
- Encourage pedestrian-accessible neighborhood commercial development in appropriate locations.



↗ Cromwell High School



↗ Historic Downtown (via Google Earth)



↗ Intersection of West Street and Sebethe Drive

# Play Well



## Vision

The Town of Cromwell offers shopping, dining, cultural, and recreational activities for its residents and visitors, while envisioning an expansion of these services. A primary goal of this POCD will be the development of our riverfront as a destination for boaters, river enthusiasts, residents, and visitors. Cromwell Creative District's events and murals help promote the Town's historic district and sense of self. Improving our parks and boosting our recreation services will stimulate public health and the overall well-being of our community. Our Plan also includes collaborating with the Lower Connecticut River Valley Council of Governments to connect the Air Line State Park Trail to expand the trail through Cromwell, Middletown, and Portland, so walkers, hikers, and bicyclists from across the State are drawn to this area for the inspiring views, relaxation, solitude, and amenities that the Trail and Cromwell have to offer.

## • GOALS •

- Create a Vibrant Riverfront that includes a Balance of Development and Recreation
- Provide a Town Park System that Meets the Needs of All Residents
- Create a Healthy Lifestyle for Residents through the Provision of Recreation Opportunities
- Expand Cultural Arts and Entertainment Opportunities within the Town

## Introduction

Cromwell's parks and open spaces are a beloved feature of the community; residents identified passive open space recreation areas as a high priority for the Town over the next planning period. Community survey participants noted that water access to the Connecticut River is a worthwhile endeavor and the Town plans to explore riverfront development opportunities and establish its waterfront as a local and regional destination. The Town embraces cultural diversity and its residents expressed significant interest in more cultural and entertainment facilities. Cromwell will explore opportunities to enhance and connect the riverfront, parks and open space, and cultural resources to promote the Town's sense of self.

Cromwell will implement the **Play Well** vision through the following goals, strategies, and action steps:

### Play Well Goal 1—Create a Vibrant Riverfront that includes a Balance of Development and Recreation.

#### Strategy PW1.1: Encourage commercial, residential, and recreational uses along the riverfront.

- Continue to maintain and expand as needed existing recreation facilities along the riverfront.
- Create a riverfront special area plan which identifies a mix of uses and public amenities.
- Amend the Zoning Regulations to achieve the vision of a riverfront special area plan.
- Seek funding and grant opportunities to achieve the vision of a riverfront special area plan.

**Strategy PW1.2: Provide more connections to Cromwell’s Historic Downtown and the riverfront.**

- Encourage and explore pedestrian and bicycle connections for greater access between the Historic Downtown and the riverfront.
- Create a riverfront special area plan which explores a variety of connections between the Town and the riverfront, and within the riverfront.
- Support increased wayfinding signage or other signage within the riverfront area.
- Encourage public access points to the Connecticut River from within the riverfront area.



↗ Cromwell Landing

**Play Well Goal 2—Provide a Town Park System that Meets the Needs of all Residents.**

**Strategy PW2.1: Maintain and enhance Town parks.**

- Encourage the development of a park and recreation master plan to fully study the park needs of current and future residents.
- Support efforts to develop additional park facilities as warranted by population size and available financial resources.
- Focus future park acquisitions on the development of active recreational opportunities to establish a balance between active and passive opportunities.
- Continue to provide and improve parks facilities for active and passive recreation.

**Strategy PW2.2: Promote connections between parks and open space areas, and enhance public access to all parks and open space areas.**

- Encourage the linkage between existing park and open space parcels that would create greenways and wildlife corridors.
- Continue to maintain existing park access points and ensure all parks are ADA accessible.
- Pursue funding and grants to enhance park connections and access.
- Encourage the development of a Complete Streets Policy and Plan for the Town that includes linkages and connection strategies for parks and open spaces.

**Strategy PW2.3: Preserve and protect natural habitats and biodiversity within parks and open spaces.**

- Encourage adequate funding for the maintenance of open spaces.
- Update the Town’s 2009 Open Space Plan (Adopted in 2012).

- Preserve areas that provide opportunities for environmental education.
- Seek funding and grants to assist in the preservation and protection of natural habitats within parks and open spaces.



↗ Watrous Park

## Play Well Goal 3—Create a Healthy Lifestyle for Residents through the Provision of Recreation Opportunities.

### Strategy PW3.1 Maintain and enhance parks and recreation opportunities.

- Support the continuation of the Town's recreation programs for youths, adults, and seniors and seek ways to enhance the various facilities and programs.
- Improve pedestrian and bicycle opportunities and connections throughout Cromwell, including the use of wayfinding signs with QR codes.
- Encourage the development of a park and recreation master plan to fully study the recreation needs of the community.
- Support efforts to create a community center and senior center.
- Continue to support the Town's recreation programming for youths and seniors.
- Pursue a kayak rental vendor for the riverfront area.
- Encourage bicycle tours of the Town for families and Town residents.
- Continue to promote increased awareness of the Town's parks and recreation programs through the Town's website and other social media methods.

### Strategy PW3.2: Cooperate with local and regional organizations to promote the health and well-being of Cromwell's residents.

- Continue to provide recreational facilities and programs that meet the needs of current and future residents.
- Continue to pursue connections with other nearby towns and regional organizations related to recreation facilities and programs.
- Support the development of a healthy Cromwell initiative.

## Play Well Goal 4—Expand Cultural Arts and Entertainment Opportunities within the Town.

### Strategy PW4.1: Explore public/private partnerships between the Town and arts and entertainment organizations.

- Encourage cooperation and communication between existing volunteer groups, as well as historic and cultural institutions.
- Continue to support existing partnerships that the Town already has with the cultural arts community.
- Seek to maintain promotional materials and activity guides that promote awareness of the Town's attractions.

### Strategy PW4.2: Explore opportunities that would enhance the cultural and entertainment uses within Cromwell.

- Continue to protect areas of historical and cultural significance within the Town and explore ways to further promote these locations and facilities to the benefit of the community.
- Seek funding and grant opportunities that would enhance and promote the historical and cultural resources of the Town.
- Seek funding and grant opportunities to support and expand Town events and festivals.
- Continue to support and link opportunities with existing Town programs like the summer concerts, movies on the park, and farmers' market.



➤ Cromwell Creative District Mural



➤ Cromwell Art Show



# **FUTURE LAND USE PLAN**

# Future Land Use Plan

## Introduction

The Future Land Use Plan for the Town of Cromwell reflects this Plan of Conservation and Development's (POCD's) vision, theme areas, and goals for the Town over the next 10 years (see **Figure 10**). General land use classifications are utilized to depict the appropriate locations for and the relationships between different land use types. The Future Land Use Plan is developed through an analysis of the Town's Zoning Districts, existing land use patterns, and available infrastructure, as well as careful consideration of the POCD's goals, strategies, and action steps. The final result is a Future Land Use Plan that graphically represents the desirable outcomes of the POCD's recommendations and serves as a tool to guide future conservation and development in the community.



➤ Cromwell Town Hall, Library, and Senior Center

## Future Land Use Plan Categories

**Residential.** Residential areas on the Future Land Use Plan generally reflect the existing residential areas of the Town and are within the R-15, R-25, R-40, Active Adult, and Planned Residential Areas Zoning Districts. The existing Zoning Districts offer a variety of densities, from low- to medium-density housing districts. Currently, Cromwell offers a diverse housing stock with ample access to public water and sewer infrastructure. Future development in Residential areas should focus on appropriate infill housing that maintains residents' quality of life. Consideration should also be given to expanding senior housing options and creating opportunities for first-time homebuyers. Complementary facilities in Residential areas include schools, recreational sites, pedestrian and bicyclist amenities, and small neighborhood-scale businesses.

**General Commercial.** General Commercial areas on the Future Land Use Plan correlate to Cromwell's Highway Business Zoning District. Route 372 serves as the primary commercial corridor and is well serviced by existing sewer and water infrastructure. Future development in General Commercial areas should focus on appropriate commercial and mixed-use development that enhances the existing commercial corridor and shopping centers.



➤ Cromwell Farmers' Market

**Local Commercial.** Local Commercial areas on the Future Land Use Plan largely correspond to the Town's existing Local Business Zoning District. Cromwell should promote infill development and flexible design standards in Local Commercial areas that are context-sensitive and take into consideration traffic, noise, and lighting when local commercial development is proposed in proximity to existing residential neighborhoods.

**Downtown Riverfront Mixed-Use Area.** The Downtown Riverfront Mixed-Use area on the Future Land Use Plan corresponds to the Town's Historic Downtown and Riverfront areas. Current uses in this area include commercial, residential, public facilities, and parks. Cromwell's Downtown Riverfront Mixed-Use area is an opportunity for the Town to establish a vibrant, historic, and mixed-use Downtown with a balance of commercial, residential, and recreational uses. Recommendations in this POCD suggest creating a special area plan for the Downtown Riverfront that will further guide the future of this area in more detail.



➤ View of Arrigoni Bridge over the Connecticut River

**Industrial / Business Park.** Industrial / Business Park areas on the Future Land Use Plan are correlated to Cromwell's existing Industrial and Business Park Zoning Districts. These areas are concentrated along the Rocky Hill / northern border and west of Interstate 91 along the Town's border with Berlin. A large portion of the land categorized as Industrial / Business Park is currently used for agriculture but has the potential to become industrial through development due to existing zoning. Future development within Industrial / Business Park areas should complement existing facilities in Town and benefit the community's economic growth.

**Conservation/Wetlands.** Cromwell's proximity to the Connecticut and Mattabeset Rivers lends itself to vast natural areas for dedicated open space. The Conservation/Wetlands areas on the Future Land Use Plan are concentrated along the water's edge. Cromwell should promote the development of an interconnected system of parks, trails, and open spaces that are accessible to all abilities and capitalize on connections to neighboring communities.

**Private Recreation.** Private Recreation areas on the Future Land Use Plan correspond to existing areas with private recreation amenities, such as golf courses, but are zoned Business Industrial Park.

**Community Facilities.** Community Facilities areas are those in which the land is dedicated to Town facilities such as Town Hall, public schools, public works, and public utilities. These existing land uses are expected to continue in the future.

**Right-of-Way.** Right-of-way (ROW) includes existing State and local ROW along transportation corridors.

**Water.** Water includes the Connecticut and Mattabeset Rivers and other rivers and streams across the Town.

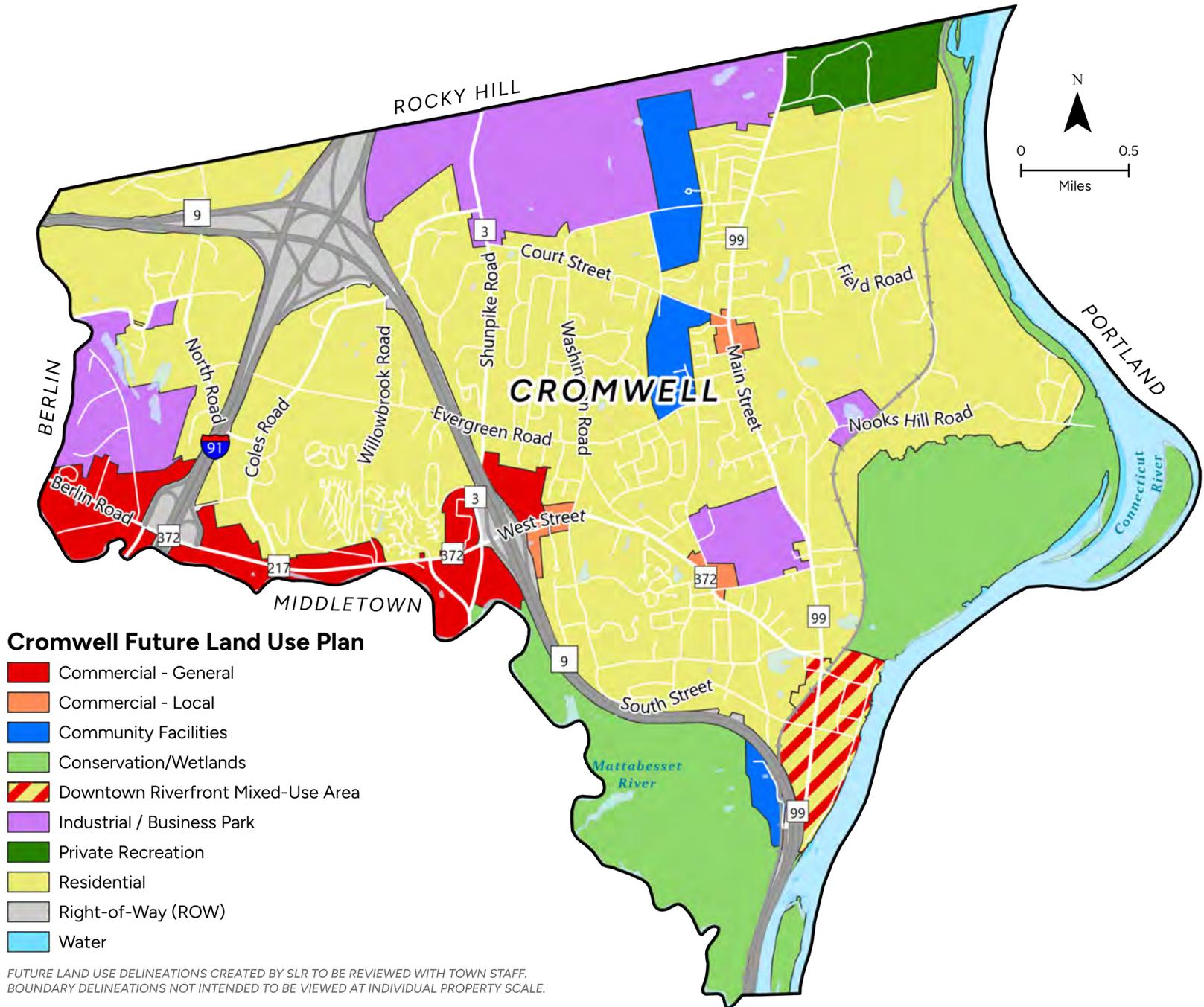


Figure 10: Future Land Use Plan



**CONSISTENCY  
WITH STATE AND  
REGIONAL PLANS**

## Consistency with State and Regional Plans

The State's 2018-2023 Conservation and Development Policies: A Plan for Connecticut was adopted on May 4, 2022, and is organized around the State's Growth Management Principles. Connecticut General Statutes Section 8-23 requires local Plans of Conservation and Development (POCDs) to consider the State's Conservation and Development Plan and the associated Growth Management Principles. Cromwell's POCD was developed with consideration for these principles and remains consistent with each.

**Principle 1:** Redevelop and revitalize regional centers and areas with existing or currently planned physical infrastructure.

**Consistency:** Cromwell has significant sewer and water infrastructure, and the POCD supports development that is aligned with the existing and planned service areas. Redevelopment and revitalization of Cromwell's Downtown will utilize its proximity to the riverfront and consider appropriate mixed-use developments and residential and commercial infill.

**Principle 2:** Expand housing opportunities and design choices to accommodate a variety of household types and needs.

**Consistency:** Cromwell's existing housing stock is diverse, and the POCD continues to encourage new and diverse housing options while maintaining the integrity of existing neighborhoods. The POCD notes the value of periodic reviews of demographic and housing data to ensure that policies will remain dynamic as the Town's population continues to evolve. Residential design and performance standards will also be considered in residential infill projects to further diversify the market. The strategies of the Town's 2022 Affordable Housing Plan are also linked with this document.

**Principle 3:** Concentrate development around transportation nodes and along major transportation corridors to support the viability of transportation options.

**Consistency:** Cromwell's existing commercial areas are concentrated along well-established transportation corridors, like Interstate 91, Route 9, and Route 372. The POCD supports responsible growth that takes advantage

of the existing transportation infrastructure within the Town and encourages the cooperation with existing transit providers to further enhance the transit services in Town. The POCD also supports context-sensitive design standards that promote traffic calming techniques to better manage traffic flow on high volume streets.

**Principle 4:** Conserve and restore the natural environment, cultural and historical resources, and traditional rural lands.

**Consistency:** Cromwell is surrounded by rivers and wetlands and the POCD acknowledges the significant role its natural resources play in the quality of life in Town. The POCD ensures that new developments will comply with State and local environmental regulations and supports the identification and protection of critical wildlife habitats and environmentally sensitive areas. The POCD calls for the preservation of historic structures across Town and establishes strategies and action items related to restoring cultural resources within the historic downtown area and the riverfront.

**Principle 5:** Protect and ensure the integrity of environmental assets critical to public health and safety.

**Consistency:** Cromwell's environmental assets are essential to the public's health and safety, particularly as the climate continues to evolve. The POCD supports the incorporation of sustainable design requirements that will lessen the impacts of development on surrounding natural resource systems, encourages acquisition of open space to protect environmental assets from development, and promotes efforts to further educate residents about the importance of protecting unique and sensitive resources.

**Principle 6:** Promote integrated planning across all levels of government to address issues on a statewide, regional, and local basis.

**Consistency:** Cromwell's POCD emphasizes the importance of interconnected planning efforts across the local, regional, and State level. The POCD promotes community involvement in local planning efforts and development processes and calls for coordination with regional and State planning agencies related to housing, economic development, and transportation projects.

## Regional Plan Consistency

The Cromwell POCD was developed with consideration for its role in the broader Lower Connecticut River Valley Council of Governments (RiverCOG) region and is consistent with RiverCOG's POCD, which was completed in 2021 and prioritizes sustainability, connections, innovation, and community. The RiverCOG POCD identifies Cromwell as an area for a mixture of low- and high-intensity residential and commercial development, as well as a priority "sustainable" area. Cromwell's future land use map is well-aligned with that of the Region, and its goals and strategies support enhanced regional connections and coordination.

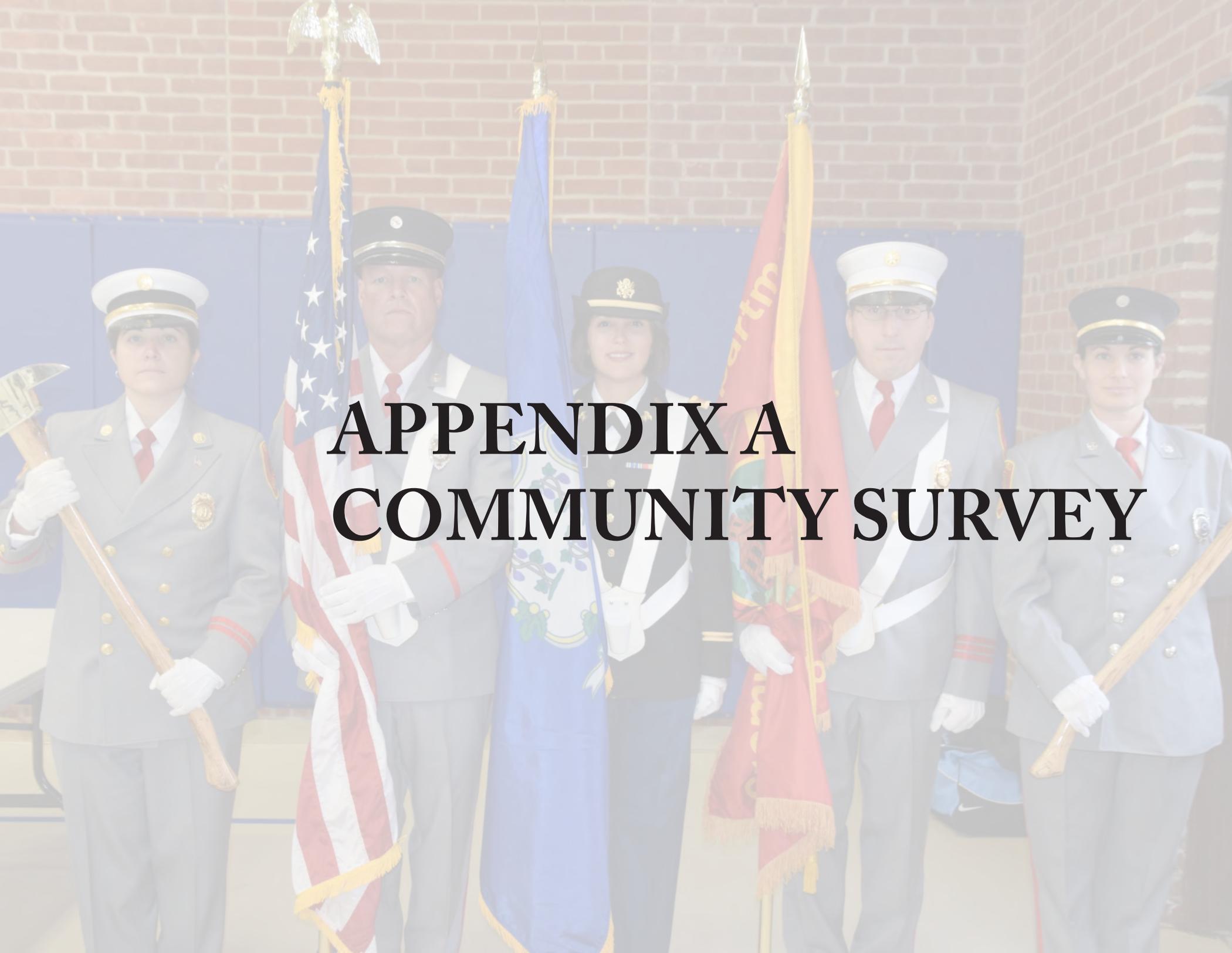


➤ Cromwell Fire Department Truck



➤ Agricultural Field along Geer Street





**APPENDIX A  
COMMUNITY SURVEY**



# Cromwell

## Community Survey

### Results

Prepared By:  SLR

#### **Introduction**

The Town of Cromwell released a Community Questionnaire to gather public input for developing an update to the Town's Plan of Conservation and Development. The survey ran for five months from November 1, 2022 - March 31, 2023. The collected responses (325, 2.3% of Total Population), provide valuable insights for shared values and priorities for the Town's future. The results of the survey are presented in this report.

- 01** Quality of Life
- 02** Open Space & Parks
- 03** Historic & Natural Resources
- 04** Residential Development
- 05** Economic Development
- 06** Transportation
- 07** Community Facilities
- 08** Visioning
- 09** About You

# Quality of Life

## Section Overview

Quality of Life questions asked respondents about their perspective of Cromwell as a resident, business owner, or property owner.

## Questions

- How would you rate the overall quality of life in Cromwell?
- How has the quality of life in Cromwell changed in the last 10 years?
- What makes living in Cromwell special?
- What do you think will be the most important development issues in Town for the next decade?
- Please indicate whether you have any concerns with the following issues in the area where you live or throughout Cromwell:
  - Roads
  - Sidewalks
  - Traffic
  - Noise
  - Parks & Places to Walk
  - Nearby Services & Stores
  - Town Facilities
  - Environmental Issues
  - Blight
  - Speeding

## Takeaways

Just over 85% of survey respondents feel the quality of life in Cromwell is good or excellent, and 16.9% feel it has gotten better in the last decade.

Survey respondents feel strongly about Cromwell's small-town feel and find its central location in the state to be a large factor in making the Town special. Respondents also noted that the convenience of being near Interstate 91 and State Route 9 is important in the community.

When asked about the biggest concerns for the future of the Town, survey respondents were concerned about preserving and maintaining open spaces and supportive of the Town acquiring more. Respondents also expressed concerns for overdevelopment, but also voiced interest in more commercial development in the downtown and riverfront areas.

A large majority of respondents are concerned with blight (87.8%), traffic (87%) and environmental issues (82.8%) in Town. Road, sidewalk, and Town facility maintenance also appear to be a significant concern for residents.

# Quality of Life

## Question 1: How would you rate the overall quality of life in Cromwell?

Excellent	15.9%
Good	<b>69.5%</b>
Fair	13.7%
Poor	0.9%

## Question 2: How has the quality of life in Cromwell changed in the last 10 years?

Gotten Better	16.9%
About the Same	<b>50.8%</b>
Gotten Worse	23.5%
Don't Know/Not Sure	8.8%

## Question 3: What makes Cromwell special?

There were 275 responses - the following lists the four most common themes discussed by survey participants.

38.9% of respondents mentioned the "small town feel"

31.3% of respondents mentioned "location"

24.4% of respondents mentioned "the community"

20.7% of respondents mentioned "convenience"

Other common themes included open space, quality of schools, and safety.

Some direct quotes include:

- "Quality education, quiet neighborhoods, low density neighborhoods"
- "Small, friendly, safe community"
- "Location on CT River and lovely parks"
- "It's clean, safe, and has a great location"
- "Responsive town government, good public schools and services"
- "Strong sense of community, green and wooded spaces, good playgrounds"
- "Has a small town feel without being remote or isolated"
- "Small town, comfortable split between commercial and residential, although it has some limited mixed use. The fact that we are not overly commercialized"
- "The town is taken care of with pride"
- "The balance of small town community with a lot of modern conveniences"
- "Small and quiet town with scattered open land/farm land still around. Easy access to highways and shopping essentials"
- "It's a nice small town with side walks connecting neighborhoods, several nice parks with beautiful hiking trails, a diverse selection of restaurants and shopping centers"

# Quality of Life

## **Question 4: What do you think will be the most important development issues in Town for the next decade?**

There were 289 responses – the following lists the four most common themes discussed by survey participants.

- 27% of respondents discussed preserving and maintaining open spaces
- 22.2% of respondents discussed concerns related to overdevelopment
- 19.7% of respondents discussed attracting the right commercial opportunities
- 13.2% of respondents discussed issues related to the school system

Other common themes included community facilities, infrastructure, development on Main Street, and Parks & Recreational development.

Some direct quotes include:

- *"Cromwell needs to acquire additional open space. We should be acquiring open space for future town needs such as schools and parks before it is gone"*
- *"Allowing mixed resident , affordable housing and conserving the nature of Cromwell as rural/suburban"*
- *"Improve the commercial and industrial development to raise our tax base to help fund new schools"*
- *"Keep financial burden of school costs reasonable based on youth demographics tracking and projecting to determine needed educational opportunities"*
- *"Too much development, not enough respect for wetland resources and open space"*
- *"Careful planning to keep neighborhoods residential"*
- *"Safety for Pedestrians who like to run and walk on side streets with no sidewalks"*
- *"We need to attract a more diverse portfolio of businesses"*
- *"Promoting business on Main Street and by the River"*
- *"Updates to current schools as well as better infrastructure"*
- *"Preserving and expanding the parks/recreational areas"*
- *"Balancing business/economic development with over development and losing too much open space"*
- *"A real town center- we're sort of spread out"*
- *"It's important that the town recognize that although something a property is zoned for something, it may not be in the best interest of the community for it to be there"*
- *"Main Street could be so cute with the right businesses, and we should utilize our waterfront for small businesses as well"*

# Quality of Life

## Question 5: Please indicate whether you have any concerns with the following issues in the area where you live or throughout Cromwell

### Road Maintenance

In my Neighborhood	41.6%
In Cromwell	79.2%

### Lack of Nearby Services or Stores

In my Neighborhood	23.5%
In Cromwell	83.8%

### Sidewalk Maintenance and/or Lack of Sidewalks

In my Neighborhood	55.1%
In Cromwell	72.8%

### Maintenance of Town Buildings and Facilities

In my Neighborhood	11.3%
In Cromwell	93.0%

### Traffic Congestion

In my Neighborhood	31.2%
In Cromwell	87.0%

### Environmental Issues (Flooding, Pollution, Etc.)

In my Neighborhood	37.3%
In Cromwell	82.8%

### Noise

In my Neighborhood	69.6%
In Cromwell	56.3%

### Blight (Vacant and Dilapidated Building and/or Properties)

In my Neighborhood	25.2%
In Cromwell	87.8%

### Lack of Parks or Places to Walk

In my Neighborhood	47.5%
In Cromwell	78.3%

### Speeding

In my Neighborhood	68.1%
In Cromwell	68.1%

Participants also had the opportunity to write in their responses. The following are some direct quotes:

- "I think we need more sidewalks on 372, 3, and Main Street"
- "Congestion in the Schools"
- "Waste Management"
- "No real walkable and vibrant center"
- "Volume of vehicles has exacerbated noise and congestion"

*Note: Participants had the choice to choose multiple options or none at all. Percentages will not add up to 100%.*

# Open Space & Parks

## Section Overview

For this survey, open space referred to protected lands available for public use or conservation. The Open Space & Parks section asked respondents to share their opinions on the quantity and prioritization of specific types of open space in Cromwell.

## Questions

- The Town has enough...
  - Trails & Hiking Areas
  - Farmlands or Land Suitable for Farming
  - Active Recreation Areas
  - Passive/Open Space Recreation Areas
  - Water Access
- What kinds of open space should the Town prioritize over the next ten years?
  - Trails & Hiking Areas
  - Farmlands or Land Suitable for Farming
  - Active Recreation Areas
  - Passive/Open Space Recreation Areas
  - Water Access
  - Wetlands
  - Critical Habitat Areas
- The Town is doing enough to protect...
  - Wetlands
  - Rivers & Streams
  - Lakes & Ponds
  - Wells, Groundwater, and Aquifers
  - Scenic Views
  - Significant Plant & Animal Habitats
  - Air Quality
  - From Noise Pollution
  - Steep Slopes & Erosion Control

## Takeaways

Survey respondents feel that the Town has enough active recreation areas, but 56.2% of participants felt there are not enough passive/open space areas and 59.9% felt there are not enough trails and hiking areas.

74.1% of respondents believe that critical habitat areas should be a significant priority for the future.

# Open Space & Parks

## Question 6: The Town has enough...

### Trails & Hiking Areas

Strongly Agree	3.3%
Agree	19.2%
Neutral/No Opinion	17.6%
Disagree	<b>43.6%</b>
Strongly Disagree	16.3%

### Passive, Open Space Recreation (parks & natural areas)

Strongly Agree	4.6%
Agree	25.7%
Neutral/No Opinion	13.6%
Disagree	<b>39.9%</b>
Strongly Disagree	16.2%

### Farmlands or Land Suitable for Farming

Strongly Agree	4.0%
Agree	<b>27.6%</b>
Neutral/No Opinion	<b>27.6%</b>
Disagree	25.7%
Strongly Disagree	15.1%

### Water Access (boat launch, public beach)

Strongly Agree	5.9%
Agree	<b>30.3%</b>
Neutral/No Opinion	23.1%
Disagree	26.7%
Strongly Disagree	14.0%

### Active Recreation Areas (ballfields, playgrounds)

Strongly Agree	11.4%
Agree	<b>45.1%</b>
Neutral/No Opinion	14.0%
Disagree	24.0%
Strongly Disagree	5.5%

# Open Space & Parks

## Question 7: What kinds of open space should the Town prioritize over the next 10 years?

### Trails & Hiking Areas

No Priority, Not Worthwhile	2.7%
Low Priority, But Worthwhile	25.9%
Medium Priority	<b>39.5%</b>
High Priority	31.9%

### Water Access (boat launch, public beach)

No Priority, Not Worthwhile	12.2%
Low Priority, But Worthwhile	<b>38.1%</b>
Medium Priority	27.2%
High Priority	22.5%

### Farmlands or Land Suitable for Farming

No Priority, Not Worthwhile	9.9%
Low Priority, But Worthwhile	<b>33.8%</b>
Medium Priority	31.5%
High Priority	24.8%

### Wetlands

No Priority, Not Worthwhile	6.6%
Low Priority, But Worthwhile	26.9%
Medium Priority	25.3%
High Priority	<b>41.2%</b>

### Active Recreation Spaces (ballfields, playgrounds)

No Priority, Not Worthwhile	8.6%
Low Priority, But Worthwhile	<b>35.6%</b>
Medium Priority	32.7%
High Priority	23.1%

### Critical Habitat Areas

No Priority, Not Worthwhile	5.3%
Low Priority, But Worthwhile	20.6%
Medium Priority	22.3%
High Priority	<b>51.8%</b>

### Passive, Open Space Recreation Areas (parks and natural areas)

No Priority, Not Worthwhile	3.9%
Low Priority, But Worthwhile	18.1%
Medium Priority	38.5%
High Priority	<b>39.5%</b>

Participants also mentioned interest in:

- More community garden plots, including a community orchard
- A multiuse trail connecting Cromwell and Middletown
- Field & court improvements
- "Right-to-Farm" regulations

# Open Space & Parks

## Question 8: The Town is doing enough to protect...

### Wetlands

Strongly Agree	6.0%
Agree	26.4%
Neutral/No Opinion	22.2%
Disagree	<b>29.6%</b>
Strongly Disagree	15.8%

### Significant Plant & Animal Habitats

Strongly Agree	4.3%
Agree	18.6%
Neutral/No Opinion	<b>31.8%</b>
Disagree	29.3%
Strongly Disagree	16.0%

### Rivers & Streams

Strongly Agree	4.6%
Agree	25.3%
Neutral/No Opinion	<b>33.1%</b>
Disagree	24.2%
Strongly Disagree	12.8%

### Air Quality

Strongly Agree	2.2%
Agree	23.3%
Neutral/No Opinion	<b>43.0%</b>
Disagree	18.6%
Strongly Disagree	12.9%

### Lakes & Ponds

Strongly Agree	4.0%
Agree	22.3%
Neutral/No Opinion	<b>40.6%</b>
Disagree	21.6%
Strongly Disagree	11.5%

### From Noise Pollution

Strongly Agree	2.8%
Agree	17.6%
Neutral/No Opinion	<b>32.0%</b>
Disagree	30.0%
Strongly Disagree	17.6%

### Wells, Groundwater, and Aquifers (Drinking Water)

Strongly Agree	4.2%
Agree	28.3%
Neutral/No Opinion	<b>36.8%</b>
Disagree	19.4%
Strongly Disagree	11.3%

### Steep Slopes & Erosion Control

Strongly Agree	2.9%
Agree	20.7%
Neutral/No Opinion	<b>54.6%</b>
Disagree	15.4%
Strongly Disagree	6.4%

### Scenic Views

Strongly Agree	2.8%
Agree	26.2%
Neutral/No Opinion	<b>33.6%</b>
Disagree	25.4%
Strongly Disagree	12.0%

# Historic & Natural Resources

## Section Overview

The Historic & Natural Resources section of the survey asked participants for their opinions on resource protection and resiliency and sustainability.

## Questions

- The Town...
  - Is doing enough to protect historic resources
  - Should create additional local historic resources
- To encourage resiliency and sustainability, the Town should...
  - Invest in capital improvements to protect Town property from storms
  - Assess the energy needs and efficiency of all Town buildings, facilities, and fleets
  - Invest in capital improvements to reduce energy usage
  - Conduct more robust recycling and composting programs, Town-led donation or reuse drives, etc.
  - Invest in renewable energy generation
  - Create a "green" procurement policy to purchase more efficient materials
  - Direct the Planning and Zoning Commission to amend codes to encourage Low Impact Development
  - Engage in best management practices at the municipal level for in-ground water treatment, irrigation, land use practices, and/or stormwater runoff
  - Hold events to educate the public about multiple facets of sustainability
  - Install electric vehicle charging stations on one or more Town properties
  - Encourage businesses to install electric vehicle charging stations on their properties

## Takeaways

Respondents are generally supportive of furthering resiliency and sustainability efforts in Town; for example, 81.8% of respondents agree or strongly agree that Cromwell should invest in capital improvements to protect Town property from storms.

53.5% of respondents feel that the Town should create additional local historic resources.

# Historic & Natural Resources

## Question 9: The town...

Is doing enough to protect historic resources in town

Strongly Agree	3.9%
Agree	33.0%
Neutral/No Opinion	<b>36.1%</b>
Disagree	20.0%
Strongly Disagree	7.0%

Should create additional local historic resources

Strongly Agree	14.1%
Agree	<b>39.4%</b>
Neutral/No Opinion	35.6%
Disagree	8.8%
Strongly Disagree	2.1%

## Question 10: To encourage resiliency and sustainability, Cromwell should...

Invest in capital improvements to protect Town property from storms

Strongly Agree	26.2%
Agree	<b>55.6%</b>
Neutral/No Opinion	13.6%
Disagree	3.5%
Strongly Disagree	1.1%

Assess the energy needs and efficiency of all Town buildings, facilities, and fleets

Strongly Agree	23.9%
Agree	<b>52.3%</b>
Neutral/No Opinion	21.0%
Disagree	2.8%
Strongly Disagree	0.00%

Invest in capital improvements to reduce energy usage

Strongly Agree	27.0%
Agree	<b>53.7%</b>
Neutral/No Opinion	15.1%
Disagree	4.2%
Strongly Disagree	0.00%

Conduct more robust recycling and composting programs, Town-led donation or reuse drives, etc.

Strongly Agree	35.4%
Agree	<b>43.2%</b>
Neutral/No Opinion	16.5%
Disagree	4.6%
Strongly Disagree	0.3%

Invest in renewable energy generation

Strongly Agree	31.0%
Agree	<b>32.4%</b>
Neutral/No Opinion	22.9%
Disagree	8.8%
Strongly Disagree	4.9%

Create a "green" procurement policy to purchase more efficient materials

Strongly Agree	24.3%
Agree	<b>39.5%</b>
Neutral/No Opinion	23.2%
Disagree	8.8%
Strongly Disagree	4.2%

# Historic & Natural Resources

## Question 10: (Continued)

Direct the Planning & Zoning Commission to amend codes to encourage Low Impact Development

Strongly Agree	38.5%
Agree	<b>39.9%</b>
Neutral/No Opinion	19.2%
Disagree	1.0%
Strongly Disagree	1.4%

Install electric vehicle charging stations on one or more Town properties

Strongly Agree	25.3%
Agree	<b>34.4%</b>
Neutral/No Opinion	21.4%
Disagree	11.2%
Strongly Disagree	7.7%

Engage in best management practices at the municipal level for in-ground water treatment, irrigation, land use practices, and/or stormwater runoff

Strongly Agree	35.8%
Agree	<b>47.0%</b>
Neutral/No Opinion	15.4%
Disagree	0.7%
Strongly Disagree	1.1%

Encourage businesses to install electric vehicle charging stations on their properties

Strongly Agree	24.0%
Agree	<b>35.9%</b>
Neutral/No Opinion	25.0%
Disagree	9.1%
Strongly Disagree	6.0%

Hold events to educate the public about multiple facets or sustainability

Strongly Agree	21.7%
Agree	<b>44.3%</b>
Neutral/No Opinion	24.1%
Disagree	8.5%
Strongly Disagree	1.4%

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# Residential Development

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## Section Overview

The Residential Development section asked respondents for opinions about housing quantity and variety.

## Questions

- Indicate how much of the following Cromwell has...
  - Large, Single-Family Homes
  - Small, Single-Family Homes
  - Condominiums
  - Apartments
  - Senior Housing
  - Assisted Living
  - Mixed-Use
  - Duplexes
  - Affordable Housing
  - Age-Restricted Housing
  - Accessory Dwelling Units
  
- Indicate how much of the following housing options Cromwell has...
  - For seniors
  - For individuals living alone
  - For its workforce
  - For empty nesters
  - For families with children
  - For low income individuals or families
  - For young adults

## Takeaways

Survey respondents generally feel there are about the right amount of single family houses, senior and assisted living, and affordable housing options.

Survey respondents feel there are too many condominiums and apartments.

Survey respondents feel there are about the right amount of housing options for all categories of residents.

# Residential Development

## Question 11: Indicate how much of the following Cromwell has...

### Large, Single-Family Homes

Too Many	25.2%
About the Right Amount	<b>65.6%</b>
Too Few	3.9%
Don't Know/Not Sure	5.3%

### Small, Single-Family Homes

Too Many	4.3%
About the Right Amount	<b>67.7%</b>
Too Few	23.8%
Don't Know/Not Sure	4.2%

### Condominiums

Too Many	<b>59.0%</b>
About the Right Amount	35.3%
Too Few	2.8%
Don't Know/Not Sure	2.9%

### Apartments

Too Many	<b>39.7%</b>
About the Right Amount	34.7%
Too Few	16.0%
Don't Know/Not Sure	9.6%

### Senior Housing

Too Many	8.4%
About the Right Amount	<b>50.0%</b>
Too Few	27.5%
Don't Know/Not Sure	14.1%

### Assisted Living

Too Many	5.7%
About the Right Amount	<b>51.8%</b>
Too Few	23.0%
Don't Know/Not Sure	19.5%

### Mixed-Use (Apartments above Commercial Uses)

Too Many	7.8%
About the Right Amount	33.1%
Too Few	22.8%
Don't Know/Not Sure	<b>36.3%</b>

### Duplexes

Too Many	7.5%
About the Right Amount	<b>41.4%</b>
Too Few	11.1%
Don't Know/Not Sure	40.0%

### Affordable Housing

Too Many	9.6%
About the Right Amount	<b>33.8%</b>
Too Few	32.0%
Don't Know/Not Sure	24.6%

### Age-Restricted Housing

Too Many	5.0%
About the Right Amount	34.0%
Too Few	17.6%
Don't Know/Not Sure	<b>43.4%</b>

### Accessory Dwelling Units

Too Many	2.9%
About the Right Amount	21.1%
Too Few	15.4%
Don't Know/Not Sure	<b>60.6%</b>

# Residential Development

## Question 12: Indicate how much of the following housing options Cromwell has...

### For Seniors

Too Much	4.6%
About the Right Amount	<b>41.8%</b>
Not Enough	30.5%
Don't Know/Not Sure	23.1%

### For Families with Children

Too Much	3.2%
About the Right Amount	<b>72.1%</b>
Not Enough	11.4%
Don't Know/Not Sure	13.2%

### For Individuals Living Alone

Too Much	3.6%
About the Right Amount	35.4%
Not Enough	<b>35.7%</b>
Don't Know/Not Sure	25.3%

### For Low Income Individuals/Families

Too Much	8.8%
About the Right Amount	<b>33.9%</b>
Not Enough	30.4%
Don't Know/Not Sure	26.9%

### For its Workforce (police, teachers, grocery workers)

Too Much	0.7%
About the Right Amount	<b>42.8%</b>
Not Enough	22.6%
Don't Know/Not Sure	33.9%

### For Young Adults

Too Much	2.1%
About the Right Amount	<b>40.4%</b>
Not Enough	31.2%
Don't Know/Not Sure	26.2%

### For Empty Nesters

Too Much	2.5%
About the Right Amount	<b>48.2%</b>
not Enough	21.3%
Don't Know/Not Sure	28.0%

# Economic Development

## Section Overview

The Economic Development section asked respondents to share their opinions on the quantity of different types of facilities (stores, offices, etc.), as well as their attitudes about the Cromwell Commercial Areas.

## Questions

- Indicate how much of the following Cromwell has...
  - Retail Stores
  - Small Offices
  - Research & Development Facilities
  - Corporate Offices
  - Light Industrial & Manufacturing Facilities
  - Assisted Living
  - Mixed-Use
  - Medical Facilities
  - Entertainment & Cultural Facilities
  - Restaurants
  - Warehousing/Distribution
- Would you agree with the following statements about Cromwell's commercial areas?
  - There is a good mix of shops, restaurants, offices, and amenities
  - It is thriving
  - It is visually attractive
  - I feel safe from passing traffic while walking there
  - Sidewalks are properly separated from traffic
  - Sidewalks are wide enough
  - It is easy to cross the street
  - I feel safe from passing traffic while biking there
  - Parking is easy
  - The buildings feel like the right size relative to the setting
  - It is well lit

## Takeaways

Survey respondents generally feel that there is a good mix of businesses in commercial areas.

80.2% of respondents feel there are not enough entertainment & cultural facilities.

Respondents generally do not feel safe from passing traffic while walking (58.7%) & biking (60.7%) in commercial areas but agree that parking is easy enough (70.3%).

# Economic Development

## Question 13: Indicate how much of the following Cromwell has...

### Retail Stores

Too Many	13.4%
About the Right Amount	<b>62.0%</b>
Too Few	24.3%
Don't Know/Not Sure	0.3%

### Small Offices

Too Many	7.3%
About the Right Amount	<b>60.8%</b>
Too Few	15.8%
Don't Know/Not Sure	16.1%

### Research & Development Facilities

Too Many	1.4%
About the Right Amount	21.1%
Too Few	30.6%
Don't Know/Not Sure	<b>46.9%</b>

### Corporate Offices

Too Many	4.3%
About the Right Amount	<b>46.4%</b>
Too Few	22.8%
Don't Know/Not Sure	26.5%

### Light Industrial & Manufacturing Facilities

Too Many	10.9%
About the Right Amount	<b>46.0%</b>
Too Few	19.2%
Don't Know/Not Sure	23.9%

### Assisted Living

Too Many	4.0%
About the Right Amount	<b>47.3%</b>
Too Few	23.8%
Don't Know/Not Sure	24.9%

### Mixed-Use (Apartments above Commercial Uses)

Too Many	4.8%
About the Right Amount	34.3%
Too Few	21.5%
Don't Know/Not Sure	<b>39.4%</b>

### Medical Facilities

Too Many	1.4%
About the Right Amount	<b>57.5%</b>
Too Few	32.4%
Don't Know/Not Sure	8.7%

### Entertainment & Cultural Facilities

Too Many	0.00%
About the Right Amount	12.5%
Too Few	<b>80.2%</b>
Don't Know/Not Sure	7.3%

### Restaurants

Too Many	5.1%
About the Right Amount	<b>49.5%</b>
Too Few	44.0%
Don't Know/Not Sure	1.4%

### Warehousing & Distribution

Too Many	38.5%
About the Right Amount	<b>40.7%</b>
Too Few	6.2%
Don't Know/Not Sure	14.6%

# Economic Development

## Question 14: Would you agree with the following statements about Cromwell's commercial areas?

There is a good mix of shops, restaurants, offices, and amenities

Strongly Agree	5.1%
Agree	<b>47.5%</b>
Neutral/No Opinion	15.6%
Disagree	28.2%
Strongly Disagree	3.6%

I feel safe from passing traffic while biking

Strongly Agree	0.4%
Agree	7.6%
Neutral/No Opinion	31.3%
Disagree	<b>42.9%</b>
Strongly Disagree	17.8%

It is thriving

Strongly Agree	2.9%
Agree	<b>35.8%</b>
Neutral/No Opinion	25.5%
Disagree	32.1%
Strongly Disagree	3.7%

Sidewalks are properly separated from traffic

Strongly Agree	1.5%
Agree	<b>42.0%</b>
Neutral/No Opinion	19.2%
Disagree	27.2%
Strongly Disagree	10.1%

It is visually attractive

Strongly Agree	0.7%
Agree	26.0%
Neutral/No Opinion	24.2%
Disagree	<b>40.4%</b>
Strongly Disagree	8.7%

Sidewalks are wide enough

Strongly Agree	2.6%
Agree	<b>53.5%</b>
Neutral/No Opinion	19.2%
Disagree	19.2%
Strongly Disagree	5.5%

I feel safe from passing traffic while walking

Strongly Agree	2.9%
Agree	23.2%
Neutral/No Opinion	15.2%
Disagree	<b>39.1%</b>
Strongly Disagree	19.6%

It is easy to cross the street

Strongly Agree	1.1%
Agree	24.5%
Neutral/No Opinion	17.7%
Disagree	<b>40.8%</b>
Strongly Disagree	15.9%

# Economic Development

## Question 14: (Continued)

Parking is easy

Strongly Agree	6.5%
Agree	<b>63.8%</b>
Neutral/No Opinion	20.6%
Disagree	8.7%
Strongly Disagree	0.4%

It is well lit

Strongly Agree	4.4%
Agree	<b>58.3%</b>
Neutral/No Opinion	22.9%
Disagree	12.2%
Strongly Disagree	2.2%

The buildings feel like the right size relative to the setting

Strongly Agree	3.3%
Agree	<b>61.1%</b>
Neutral/No Opinion	24.0%
Disagree	9.4%
Strongly Disagree	2.2%

# Transportation

## Section Overview

The Transportation section of the survey asked participants for their feelings about different elements of Cromwell's transportation system and infrastructure.

## Questions

- Do you agree or disagree with the following statements about Cromwell's transportation system?
  - Traffic congestion is a problem on major roads.
  - Cromwell needs more sidewalks.
  - Cromwell needs more bike infrastructure.
  - There are adequate active transportation options.
  - It is safe for students to walk or bike to school.
  - There are adequate transit options.
  - There are adequate transit options for seniors and people with disabilities.

## Takeaways

The majority of respondents (78.3%) feel that traffic and congestion is an issue in Cromwell.

60.7% of respondents disagree with the statement that there are adequate active transportation options in town. The majority of respondents agree that Cromwell needs more sidewalks (75.8%) and bike infrastructure (69.5%).

54.7% of respondents disagree with the statement that it is safe for students to walk and/or bike to school.

# Transportation

## Question 15: Do you agree or disagree with the following statements about Cromwell's transportation system?

Traffic congestion is a problem on major roads in Cromwell

Strongly Agree	36.8%
Agree	<b>41.5%</b>
Neutral/No Opinion	9.0%
Disagree	12.3%
Strongly Disagree	0.4%

It is safe for students to walk or bike to school

Strongly Agree	2.2%
Agree	21.4%
Neutral/No Opinion	21.7%
Disagree	<b>37.0%</b>
Strongly Disagree	17.7%

There are adequate active transportation options (walking & biking)

Strongly Agree	1.5%
Agree	17.1%
Neutral/No Opinion	20.7%
Disagree	<b>46.9%</b>
Strongly Disagree	13.8%

There are adequate transit options (e.g., busses)

Strongly Agree	0.7%
Agree	23.2%
Neutral/No Opinion	<b>44.9%</b>
Disagree	25.4%
Strongly Disagree	5.8%

Cromwell needs more sidewalks

Strongly Agree	35.4%
Agree	<b>40.4%</b>
Neutral/No Opinion	16.3%
Disagree	7.2%
Strongly Disagree	0.7%

There are adequate transit options for seniors and people with disabilities

Strongly Agree	2.9%
Agree	23.7%
Neutral/No Opinion	<b>45.3% *</b>
Disagree	22.6%
Strongly Disagree	5.5%

Cromwell needs more bike infrastructure

Strongly Agree	30.2%
Agree	<b>39.3%</b>
Neutral/No Opinion	20.7%
Disagree	8.4%
Strongly Disagree	1.4%

\* Note: A neutral opinion here may indicate a lack of awareness on the subject. Public education on the matter may be beneficial.

# Community Facilities

## Section Overview

The Community Facilities section asked respondents about the quality and quantity of facilities and the frequency with which they use such facilities.

## Questions

- Rate the quality of the following town facilities:
  - Public Schools
  - Public Library
  - Town Hall
  - Sports & Recreation Programs
  - Police Department
  - Cromwell Fire District
  - Local Roads
  - Sidewalks
  - Park Facilities
  - Senior Services
- Indicate how much of the following public facilities Cromwell has:
  - Multipurpose Fields
  - Ball Fields
  - Tennis Courts
  - Pickleball Courts
  - Basketball Courts
  - Playgrounds and Playscapes
  - Places to Bike and Skate
  - Hiking Trails
  - Recreational Programs for young children, teens, and adults
- Are there any community amenities, recreational facilities, programs, or services that Cromwell is lacking?

## Takeaways

Respondents generally feel that community facilities are of adequate quality; however, most feel that sidewalks, senior services, and town park facilities need improvement. There are also mixed opinions on the public schools.

Participants feel there are not enough hiking areas (65.9%) or places to bike and skateboard (40.2%).

There is significant interest in a town pool (53.4%) and community center (43.6%).

- How often do you or a member of your household visit the following places?
  - Town Hall
  - Library
  - Post Office
  - Cromwell Dog Park
  - Cromwell Landings Park
  - Cromwell Meadows State Wildlife Management Area
  - River Highland State Park
  - Evergreen Hill Park
  - Pierson Park
  - Riverport Park at Frisbee Landings
  - River Road Boat Launch
  - Watrous Park
  - Cromwell Community Garden
  - Main Street Historic Area
  - School Athletic Fields
- Are there barriers keeping you from using community facilities?

# Community Facilities

## Question 16: Rate the quality of the following town facilities:

### Public Schools

Excellent	21.5%
Adequate	<b>39.4%</b>
Needs Improvement	29.4%
Don't Know	9.7%

### Cromwell Fire District

Excellent	34.9%
Adequate	<b>51.3%</b>
Needs Improvement	6.0%
Don't Know	7.8%

### Public Library

Excellent	41.8%
Adequate	<b>44.4%</b>
Needs Improvement	9.7%
Don't Know	4.1%

### Local Roads

Excellent	8.2%
Adequate	<b>64.4%</b>
Needs Improvement	27.0%
Don't Know	0.4%

### Town Hall

Excellent	26.2%
Adequate	<b>53.2%</b>
Needs Improvement	18.0%
Don't Know	2.6%

### Sidewalks

Excellent	3.0%
Adequate	36.2%
Needs Improvement	<b>58.6%</b>
Don't Know	2.2%

### Sports & Recreation Programs

Excellent	16.8%
Adequate	<b>44.8%</b>
Needs Improvement	28.7%
Don't Know	9.7%

### Town Park Facilities

Excellent	12.7%
Adequate	<b>44.0%</b>
Needs Improvement	42.2%
Don't Know	1.1%

### Police Department

Excellent	29.8%
Adequate	<b>54.9%</b>
Needs Improvement	9.3%
Don't Know	6.0%

### Senior Services

Excellent	16.0%
Adequate	30.1%
Needs Improvement	<b>30.5%</b>
Don't Know	23.4%

# Community Facilities

## Question 17: Indicate how much of the following public facilities Cromwell has:

### Multipurpose Fields (soccer, football, etc.)

Too Many	3.0%
About the Right Amount	<b>59.2%</b>
Too Few	25.8%
Don't Know/Not Sure	12.0%

### Ball Fields (baseball, softball)

Too Many	4.8%
About the Right Amount	<b>62.7%</b>
Too Few	20.2%
Don't Know/Not Sure	12.3%

### Tennis Courts

Too Many	1.5%
About the Right Amount	<b>58.6%</b>
Too Few	19.8%
Don't Know/Not Sure	20.1%

### Pickleball Courts

Too Many	2.2%
About the Right Amount	30.2%
Too Few	22.4%
Don't Know/Not Sure	<b>45.2%</b>

### Basketball Courts

Too Many	1.1%
About the Right Amount	<b>42.5%</b>
Too Few	29.5%
Don't Know/Not Sure	26.9%

### Playgrounds & Playscapes

Too Many	0.8%
About the Right Amount	<b>63.5%</b>
Too Few	27.4%
Don't Know/Not Sure	8.3%

### Places to Bike, Skate, and Skateboard

Too Many	1.9%
About the Right Amount	37.6%
Too Few	<b>40.2%</b>
Don't Know/Not Sure	20.3%

### Hiking Trails

Too Many	0.4%
About the Right Amount	25.8%
Too Few	<b>65.9%</b>
Don't Know/Not Sure	7.9%

### Recreational Programs for Young Children

Too Many	1.1%
About the Right Amount	<b>51.5%</b>
Too Few	18.7%
Don't Know/Not Sure	28.7%

### Recreational Programs for Teens

Too Many	1.5%
About the Right Amount	27.4%
Too Few	33.3%
Don't Know/Not Sure	<b>37.8%</b>

### Recreational Programs for Adults

Too Many	0.7%
About the Right Amount	<b>39.0%</b>
Too Few	34.5%
Don't Know/Not Sure	25.8%

# Community Facilities

## Question 18: Are there any community amenities, recreational facilities, programs, or services that Cromwell is lacking?

There were 163 responses - the following lists the four most common themes discussed by survey participants:

- 53.4% of respondents mentioned a Town pool
- 43.6% of respondents mentioned a community center
- 17.2% of respondents mentioned improved recreational facilities

Other common themes included a senior center, hiking and walking trails, riverfront improvements, and more parking at public parks.

## Question 19: How often do you or a member of your household visit the following places?

### Town Hall

Daily	4.4%
Monthly	18.9%
More than Once a Month	17.8%
A Few Times a Year	<b>57.0%</b>
Never	1.9%

### Cromwell Dog Park

Daily	1.1%
Monthly	3.0%
More than Once a Month	5.6%
A Few Times a Year	14.2%
Never	<b>76.1%</b>

### Library

Daily	3.7%
Monthly	28.4%
More than Once a Month	20.5%
A Few Times a Year	<b>34.3%</b>
Never	13.1%

### Cromwell Landings Park

Daily	5.6%
Monthly	9.3%
More than Once a Month	11.6%
A Few Times a Year	<b>50.4%</b>
Never	23.1%

### Post Office

Daily	2.6%
Monthly	29.5%
More than Once a Month	25.4%
A Few Times a Year	<b>39.2%</b>
Never	3.3%

### Cromwell Meadows State Wildlife Management Area

Daily	0.0%
Monthly	5.0%
More than Once a Month	3.3%
A Few Times a Year	29.3%
Never	<b>62.4%</b>

# Community Facilities

## Question 19: (Continued)

### River Highland State Park

Daily	1.1%
Monthly	9.7%
More than Once a Month	9.0%
A Few Times a Year	<b>46.5%</b>
Never	33.7%

### Watrous Park

Daily	10.5%
Monthly	17.2%
More than Once a Month	16.5%
A Few Times a Year	<b>39.7%</b>
Never	16.1%

### Evergreen Hill Park

Daily	2.7%
Monthly	5.0%
More than Once a Month	3.5%
A Few Times a Year	20.5%
Never	<b>68.3%</b>

### Cromwell Community Garden

Daily	2.3%
Monthly	1.9%
More than Once a Month	4.5%
A Few Times a Year	19.5%
Never	<b>71.8%</b>

### Pierson Park

Daily	7.1%
Monthly	17.2%
More than Once a Month	16.0%
A Few Times a Year	<b>46.6%</b>
Never	13.1%

### Main Street Historic Area

Daily	7.8%
Monthly	11.5%
More than Once a Month	16.4%
A Few Times a Year	<b>37.2%</b>
Never	27.1%

### Riverport Park at Frisbee Landing

Daily	3.8%
Monthly	11.6%
More than Once a Month	13.1%
A Few Times a Year	<b>50.9%</b>
Never	20.6%

### School Athletic Fields

Daily	10.8%
Monthly	10.8%
More than Once a Month	14.2%
A Few Times a Year	28.4%
Never	<b>35.8%</b>

### River Road Boat Launch

Daily	3.8%
Monthly	2.6%
More than Once a Month	6.4%
A Few Times a Year	26.3%
Never	<b>60.9%</b>

# Community Facilities

## Question 20: Are there any barriers keeping you from using community facilities?

Hours of Operation are too Limited or do not Work with my Schedule	14.6%
Location	17.1%
Lack of Programming or Events of Interest	<b>57.9%</b>
Lack of Communication about Programming	50.6%
Accessibility (ADA Design, Interpretation, Translation)	5.0%
Other	26.8%

- *"Programming is hindered due to small size of buildings"*
- *"Condition of fields"*
- *"Don't know what exists. Need more marketing of current facilities to increase awareness"*
- *"Lack of lighting and parking"*
- *"Some of the Town-owned parks need more care"*

*Note: Participants had the choice to choose multiple options or none at all. Percentages will not add up to 100%.*

# Visioning

## Section Overview

The Visioning section of the survey asked participants to prioritize focus areas for Cromwell over the next decade.

## Questions

- Rate the following in terms of priority focus areas for Cromwell over the next 10 years
  - Encourage more variety of housing options
  - Encourage more housing affordability options
  - Maintain and improve existing roads
  - Continued support and improvement of education system
  - Preserve historic buildings, properties, and districts
  - Preserve farmland and agriculture
  - Preserve undeveloped land for open space
  - Provide more biking and walking amenities
  - Support and increase recreational programs and activities
  - Encouraging more non-residential development

## Takeaways

Survey respondents noted the highest priorities for focus areas across the next 10 years should be supporting and improving the education system (58.6%), preserving undeveloped land for open space (58.7%), preserve farmland and agriculture (49.1%), and provide more biking and walking amenities (47%).

Medium priorities included maintaining and improving existing roads and supporting/increasing recreational programs and activities.

Lower priority concerns included the encouragement of more variety in housing, encouragement of more affordable housing, and encouragement of non-residential development.

# Visioning

## Question 21: Rate the following in terms of priority focus areas for Cromwell over the next 10 years:

### Encourage More Variety of Housing Options

No Priority, Not Worthwhile	24.7%
Low Priority, But Worthwhile	<b>36.9%</b>
Medium Priority	27.6%
High Priority	10.8%

### Encourage More Housing Affordability Options

No Priority, Not Worthwhile	24.2%
Low Priority, But Worthwhile	<b>36.0%</b>
Medium Priority	24.9%
High Priority	14.9%

### Maintain & Improve Existing Roads

No Priority, Not Worthwhile	1.1%
Low Priority, But Worthwhile	13.5%
Medium Priority	<b>44.0%</b>
High Priority	41.4%

### Continued Support & Improvement of Education System

No Priority, Not Worthwhile	2.6%
Low Priority, But Worthwhile	9.3%
Medium Priority	29.5%
High Priority	<b>58.6%</b>

### Preserve Historic Buildings, Properties, and Districts

No Priority, Not Worthwhile	3.8%
Low Priority, But Worthwhile	29.2%
Medium Priority	<b>36.3%</b>
High Priority	30.7%

### Preserve Farmland & Agriculture

No Priority, Not Worthwhile	4.1%
Low Priority, But Worthwhile	18.2%
Medium Priority	28.6%
High Priority	<b>49.1%</b>

### Preserve Undeveloped Land for Open Space

No Priority, Not Worthwhile	4.5%
Low Priority, But Worthwhile	14.3%
Medium Priority	22.6%
High Priority	<b>58.6%</b>

### Provide More Biking & Walking Amenities

No Priority, Not Worthwhile	1.9%
Low Priority, But Worthwhile	18.3%
Medium Priority	32.8%
High Priority	<b>47.0%</b>

### Support & Increase Recreational Programs & Activities

No Priority, Not Worthwhile	3.0%
Low Priority, But Worthwhile	20.1%
Medium Priority	<b>43.7%</b>
High Priority	33.2%

### Encourage More Non-Residential Development

No Priority, Not Worthwhile	24.5%
Low Priority, But Worthwhile	<b>34.7%</b>
Medium Priority	26.1%
High Priority	14.7%

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# Visioning

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## **Question 21: (Continued)**

Other comments related to priority focus areas included:

- *"The plan of 'Conservation' should have as a high priority conserving natural plant and wildlife habitats, and minimizing existing light and noise pollution and ensuring that there are no incremental sources of such pollution"*
- *"Non-residential Development should be restaurants and shopping but not warehouse or corporate offices. It should be something the community can enjoy"*
- *"The town has always encouraged open space, and is one of the reasons we moved here. We'd like to see that continue. Not every square inch of land needs to be developed"*

## **Question 35: Do you have any other comments or concerns that you would like to share with us, or was there something we missed?**

There were 95 responses that addressed other comments. Some comments included:

- *"Overall, we love our neighborhood, house, location, etc. Our biggest complaint is Cromwell commercial services do not support and serve the young, affluent community"*
- *"Cromwell should make it a priority to explore development of its river location which would greatly benefit town and residents"*
- *"Rehab downtown housing and businesses to reflect the River Town we were and are"*
- *"In my opinion the town should consider that more and more working professionals with families are moving to Cromwell. They want high quality schools, open space, parks, recreational and athletic programs, etc. They also want an attractive place to live that is well kept"*
- *"Please consider improving Evergreen Hill Park as a more park-like landscape that retains its agricultural history and aesthetic"*
- *"Please prioritize maintaining existing open spaces and wooded areas. They are central to the beauty of the town, and improve the quality of life here. Creating paths, especially through open or wooded areas, suitable for biking and jogging should be a high priority"*
- *"I would like to see less development of land and a better, more inviting main street, more small, family owned businesses. A main street you could spend a day walking around"*

# About You

## Section Overview

Respondents were asked to share information about themselves to better understand the population responding to the survey. Questions related to personal information and their history with/in the community.

Please refer to Section 8 - Visioning for responses to question 35.

For question 36, **76 respondents** provided their contact information, indicating they are interested in future information related to the POCD update.

## Questions

- What is your age?
- Where do you work?
- How long have you lived in Cromwell?
- Where do you live? (neighborhood)
- Do you rent or own your home?
- Describe your household
- Why do you choose to live in Cromwell?
- Do you see yourself living in Cromwell in 10 years?
- How do you find out about community events? Which events do you attend?
- Do you currently serve on any Town boards, commissions, etc.?

## Takeaways

The majority of respondents were ages 65-74 (27.7%) followed by ages 45-54 (18.2%)

41.1% of respondents are retired. 27.2% work outside of Cromwell, but within 20 miles.

58.9% of respondents have lived in Cromwell for 20+ years. 59.1% see themselves living in Cromwell 10 years from now. 54.8% of respondents live in the central "neighborhood" of Cromwell (between Routes 3 and 99)

91.6% of respondents own their own home. 26.5% of respondents live in a household described as "Couple with Children Under 18 at Home." 23.5% of respondents described their household as "Couple with no Children."

The most popular reasons for living in Cromwell included:

- Location - 79.0%
- Quality of Life - 45.8%
- Housing or Neighborhood - 43.9%
- Sense of Community - 38.9%

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# About You

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## Question 22: What is your age?

Under 18	0.0%
18-24	0.0%
25-34	6.4%
35-44	17.8%
45-54	18.2%
55-64	16.3%
65-74	<b>27.7%</b>
75+	13.6%

## Question 23: Where do you work?

In Cromwell	9.1%
Outside of Cromwell, but within 20 miles	27.2%
More than 20 miles outside of Cromwell	4.5%
Travel for Work (3 or more days/week)	3.0%
Work from Home (Temporary, Short-term)	2.3%
Work from Home (Permanent)	10.9%
Currently Not Working	1.9%
Retired	<b>41.1%</b>

## Question 24: How long have you lived in Cromwell?

Less than 2 years	2.3%
2-5 years	4.6%
5-10 years	11.8%
11-20 years	22.4%
20+ years	<b>58.9%</b>

## Question 25: Where do you live?

Neighborhood A (West of Route 3)	29.3%
Neighborhood B (East of Route 3 & West of Route 99)	<b>54.7%</b>
Neighborhood C (East of Route 99)	16.0%

## Question 26: Do you own or rent your home?

Rent	6.9%
Own	<b>91.6%</b>
Other	1.5%

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# About You

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## Question 27: Please describe your household

I live alone	15.5%
Couple w/ No Children	23.5%
Couple w/ Children under 18 (at Home)	<b>26.5%</b>
Couple w/ Children over 18 (at Home)	8.3%
Single Parent w/ Children under 18 (at Home)	2.3%
Single Parent w/ Children over 18 (at Home)	1.1%
Couple w/ Children over 18 (Not at Home, including College)	13.3%
I live with Others (Unrelated)	2.6%
Multi-Generational Home	4.6%
Other	2.3%

## Question 28: Why do you choose to live in Cromwell?

Location	<b>79.0%</b>
Public Schools	30.2%
Housing or Neighborhood	43.9%
Employment in Town	3.8%
Family and/or Friends	38.2%
Sense of Community	38.9%
Quality of Life	45.8%
Cultural Offerings & Events	3.1%
Affordability and/or Cost of Living	19.5%
Other	12.6%

- "Size of Community"
- "Low Taxes"
- "Covenant Living of Cromwell"
- "Born & Raised"
- "Convenience"

*Note: Participants had the choice to choose multiple options or none at all. Percentages will not add up to 100%.*

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# About You

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## Question 29: Do you see yourself living in Cromwell 10 years from now?

Yes	<b>59.1%</b>
No	11.4%
Don't Know/Not Sure	29.5%

## Question 30: If you answered "Yes" to the previous question, what kind of housing do you see yourself in?

My Current Home	<b>79.0%</b>
Large Single Family Home	5.7%
Small Single Family Home	6.3%
Condominium	0.0%
Apartment	1.7%
Duplex	0.0%
Age-Restricted	2.8%
None of the Above	4.5%

## Question 31: If you answered "No" to the previous question, why don't you see yourself living in Cromwell in the future?

Commute (Closer to Employment)	2.3%
Lack of Adequate Transportation Options	4.6%
New Job or Relocation	6.9%
Move Closer to Family	8.1%
Lack of Adequate Housing Options	11.5%
Cost of Living	21.8%
Lifestyle Opportunities	24.1%
EmptyNesters	<b>25.3%</b>
None of the Above	9.2%
Other	<b>31.0%</b>

- "Blight"
- "Continuous building is taking away from the small town vibe"
- "Prefer a more open minded, respectful, and environmentally conscious community"

*Note: Participants had the choice to choose multiple options or none at all. Percentages will not add up to 100%.*

# About You

## Question 32: How do you find out about community events?

Social Media	53.3%
Town Website	30.4%
Public Access TV	1.6%
Word of Mouth	<b>54.1%</b>
The Middletown Press	8.2%
The Chronicle	42.8%
Cromwell Life	46.7%
Cromwell CT Families - Public Page	23.4%
Cromwell CT Community Positive News & Local Happenings (Facebook)	23.4%
Cromwell Uncensored	19.8%
Rare Reminder	33.9%
Other	14.0%

- "Senior Center Newsletter"
- "School Announcements"
- "Email"
- "Town Hall"

## Question 33: What community events do you attend?

Farmer's Market	<b>78.4%</b>
Memorial Day Parade	43.2%
Summer Concert Series	41.7%
Holiday Events (Trunk or Treat)	36.7%
Veteran's Day Event	15.8%
Sporting Events	39.4%
None	6.2%
Other	12.0%

- "Fireworks at the River"
- "Movie Nights at Pierson Park"
- "Winter Tree Lighting"
- "Church & School Events"
- "Library Events"

## Question 34: do you currently serve on any Town boards, commissions, or volunteer for other organizations in town?

Yes	24.6%
No	<b>75.4%</b>

Note: Participants had the choice to choose multiple options or none at all. Percentages will not add up to 100%.

A three-story brick building with a central arched entrance. The building features a decorative cornice with a lattice pattern. The ground floor has a stone base and a set of steps leading to the entrance. There are several windows on each floor, and a few small evergreen trees are planted in front of the building. The text "APPENDIX B IMPLEMENTATION" is overlaid in the center of the image.

**APPENDIX B  
IMPLEMENTATION**

Legend for Implementation Tables	
Code	Entity
CC	Conservation Commission
DPW	Department of Public Works
EDC	Economic Development Commission
ES	Eversource
PD	Planning Department Staff
PZC	Planning and Zoning Commission
RA	Redevelopment Agency
TC	Town Council
TS	Town Staff

Timeline for Action Items	
Code	Definition
O	Ongoing
S	Short Term (1-3 years)
M	Medium Term (4-7 years)
L	Long Term (8-10 years)

The following tables summarize the goals, strategies, and action items identified in this Plan of Conservation and Development (POCD). The tables specify lead and additional support entities responsible for executing each of the action items. In addition, they provide a timeframe for the completion of each action item.

In the Implementation Plan:

- Short-term actions are marked with an "S." Short-term actions are those that should be implemented within one to three years of POCD adoption and include items that are a simple lift or are high priority and need to be completed prior to other actions.
- Medium-term actions are marked with an "M." Medium-term actions are likely to be completed within four to seven years.
- Long-term actions are marked with an "L." Long-term actions are those that are likely to be completed in the last three years of the POCD horizon.
- Ongoing efforts are marked with an "O."



↗ Pierson Park

Live Well Goal 1: Continue to Maintain and Enhance Cromwell's Existing Neighborhoods			
Strategy LW1.1: Manage Future Growth Responsibly and Maintain a High Quality of Life for All Residents			
Action Items	Responsible Entity	Support Entity	Timeline
Continue to ensure development applications are consistent with the Zoning Regulations and the Future Land Use Plan.	PZC	PD	O
Review the Zoning Regulations periodically to make sure the regulations are consistent with the Goals, Strategies, and Action Steps of the POCD.	PZC	PD	O
Continue to have development applications reviewed by other Town departments and agencies as required.	PD	PD	O
Consider development opportunities in conjunction with existing land use patterns and those that take advantage of existing infrastructure.	PZC	PD	M
Consider the community benefits that new development or redevelopment applications would bring to the community.	PZC	PD	O
Consider development of residential design and performance standards for infill residential developments.	PZC	PD	L
Promote a network of recreation facilities proximate to all residential neighborhoods.	TC RA	TS	M
Promote a variety of mixed-use development opportunities, where appropriate.	PZC	PD	O
Strategy LW1.2: Provide Residents with a Safe, Active, and Engaged Community			
Continue to provide Town services at existing levels and explore expansion of services to meet the needs of current and future Town residents.	TC	TS	O
Encourage Town residents to participate in the development review process.	PZC	PD	O
Continue to utilize existing communication methods to share information with Town residents and explore new means of communication as needed.	TS	TS	O
Strategy LW1.3: Enhance and Beautify Existing and Future Neighborhoods			
Continue to seek grants for neighborhood improvement projects with a focus on expanding the sidewalk network in the Town.	TC	TS	O
Continue to support Town maintenance programs (such as the Pavement Management Program) for neighborhood street repaving, landscaping, and signage.	TC DPW	TS	O
Support increased funding for the Town's sidewalk program.	TC	TS	O
Support community organizations and collaborate on opportunities to strengthen their connections within the community.	TC	TS	O
Continue to support community gardens within Town.	TC	TS	O
Evaluate opportunities for enhanced design standards and blight enforcement.	TC	TS	M

**Live Well Goal 2: Maintain a Balance of Housing Opportunities, including Affordable Options that Support Current and Future Residents' Needs**

**Strategy LW2.1: Provide a Diverse Housing Stock that Supports People of All Age Groups, Income Levels, and Backgrounds**

Action Items	Responsible Entity	Support Entity	Timeline
Continue to implement the goals and strategies of the 2021 Cromwell Affordable Housing Plan.	PZC	PD	O
Continue to coordinate with RiverCOG on housing and the 2021 Regional Housing Plan.	PZC	PD	O
Continue to educate the community on the importance of having a diverse housing supply within the Town.	PZC	PD	O
Review demographic and housing composition changes periodically to adapt to changing demographic and housing issues and needs.	PZC	PD	M
Amend Zoning Regulations to include a variety of Accessory Dwelling Units (ADUs).	PZC	PD	S
Support efforts to expand senior housing options, including affordable units to low and moderate-income seniors.	TC	TS	L

**Strategy LW2.2: Ensure New Housing Is Suitable in Type, Location, and Density to Sustainably Support Cromwell's Current and Future Residents**

Continue to support new and diverse housing opportunities while maintaining the integrity of existing residential areas and infrastructure systems.	PZC	PD	O
Incorporate sustainable design requirements or incentives into the Zoning Regulations such as Low Impact Development (LID), energy efficiency, and green technology.	PZC	PD	S
Ensure that new housing is located in areas that can be supported by roads and infrastructure while protecting the natural environment.	PZC	PD	L
Promote the preservation of historic structures throughout the Town.	TC	TS	L

**Live Well Goal 3: Maintain and Improve Community Facilities and Infrastructure to Meet the Needs of Current and Future Residents**

**Strategy LW3.1: Ensure Cromwell Facilities and Services Are Meeting Current and Future Resident Needs**

Action Items	Responsible Entity	Support Entity	Timeline
Continue to work with utility providers to ensure that service delivery and service levels are sufficient to meet the needs of the Town's residents and businesses.	TC	TS	O
Support the Sewer Department's efforts to maintain and expand the existing sewer system.	TC	TS	O
Support the efforts of the Cromwell Fire District (Water Division) to implement the Water Supply Plan Update (August 2021) and the Plan's recommendations.	TC	TS	O
Support the Town Engineer's efforts to fund and prepare a Cromwell Drainage Study.	TC	TS	M
Continue to protect ground water within existing and potential public drinking water supply aquifers.	TC	TS	O
Support efforts to provide support services to seniors who choose to age in place.	TC	TS	O
Maintain a high-quality education system.	TC	TS	O
Maintain high-quality police, fire, and emergency services.	TC	TS	O

**Strategy LW3.2: Continue to Invest in Community Facilities, Services, and Infrastructure**

Continue to fund and expand, as financially feasible, existing Town maintenance programs for local roads, sidewalks, parks and recreation facilities, and Town-owned buildings.	TC	TS	O
Support Public Works efforts to expand solid waste programs within the Town including leaf composing and organic food scrap composing.	TC	TS	O
Support the development of an ADA Transition Plan.	TC	TS	O
Continue to support upgrades and expansion of school facilities.	TC	TS	O
Continue to support the Library Department's community assistance efforts.	TC	TS	O
Seek funding and grants to improve Town facilities and programs.	TC	TS	O
Support efforts of the Town to create a community center and senior center.	TC	TS	O

Live Well Goal 4: Improve Transportation and Mobility Opportunities within the Community			
Strategy LW4.1: Promote Multi-Modal Transportation Options			
Action Items	Responsible Entity	Support Entity	Timeline
Support efforts to fully develop a variety of transportation options within the Town including bus, automobile, bicycle, and walking.	TC	TS	O
Continue to coordinate with RiverCOG on the Regional Transportation Plan to secure support and funding for Cromwell specific projects.	TC	TS	O
Support the creation of a Complete Streets Policy and Plan for the Town.	TC	TS	O
Work with CT Transit and MAT to enhance transit service in Town.	TC	TS	O
Support efforts to establish bike and pedestrian connections to Middletown and Middletown trails.	TC	TS	O
Provide bus stops throughout Town as appropriate.	TC	TS	O
Continue to support Cromwell Dial-a-Ride.	TC	TS	O
Provide, fund, and appropriately maintain sidewalks to ensure pedestrian access to schools, retail, and employment centers as well as along major roadways.	TC	TS	O
Coordinate with RiverCOG to develop a safe and convenient network of pedestrian and bicycle paths and greenways that connect to available public transportation and the region.	TC	TS	O
Strategy LW4.2: Consider Mobility and Access to Transportation when Evaluating Development Proposals			
Continue to coordinate with regional and state agencies on the evaluation of development proposals and the potential impacts to state and regional roadways within Cromwell.	PZC	TS	O
Encourage developers to make necessary road improvements that will accommodate projected increases in traffic and/or provide appropriate mitigation strategies.	PZC	TS	O
Promote traffic calming techniques, flexible design standards and context sensitive design standards on high volume streets throughout the Town to manage traffic flow.	TC	TS	M
Encourage Mixed Use development in close proximity to or along transit corridors.	PZC	TS	M
Support efforts by major employers, developers, transit providers and residents to encourage carpools, van pools, park and ride lots, and other similar recommendations.	TC	TS	S

**Live Well Goal 5: Balance Community Infrastructure with Natural Resource Management**

**Strategy LW5.1: Explore Green Development/Technology and Sustainable Infrastructure Practices**

Action Items	Responsible Entity	Support Entity	Timeline
Continue to enforce appropriate regulations to protect ground water, floodplains, aquifers, and other natural resources.	TC	TS	S
Incorporate green development and technology principles into the Zoning Regulations.	PZC	TS	O
Continue to enforce existing regulations for Best Management Practices for Stormwater Management and Non-Point Source Pollution.	PZC	TS	O
Continue to promote the use of on-site stormwater detention for all new development.	PZC	TS	O

<b>Grow Well Goal 1: Guide Growth and Development to Ensure Consistency with Land Use Policies</b>			
<b>Strategy GW1.1: Balance Existing Commercial, Industrial, and Residential Patterns with New Development Opportunities</b>			
Action Items	Responsible Entity	Support Entity	Timeline
Continue to utilize the Future Land Use Plan within the Plan of Conservation and Development to guide appropriate type, scope, and location of future development.	PZC	PD	O
Continue to ensure that all Zoning Regulation updates and amendments are consistent with the Plan of Conservation and Development.	PZC	PD	O
Amend the Zoning Regulations to provide for a variety of mixed-use developments, where appropriate.	PZC	PD	M
Consider redevelopment opportunities in conjunction with existing land use patterns and infrastructure systems.	PZC	PD	O
Consider the community benefits that new development or redevelop application would bring to the community.	PZC	PD	O
Identify and protect heritage and recreation resources of local and statewide significance.	TC	TS	M
<b>Strategy GW1.2: Ensure New Development Is Aligned with Existing Public Services</b>			
Continue to review development proposals for consistency with existing Town public services.	PZC	PD	O
Consider the impacts to Town public schools and park and recreation facilities and programs for new residential projects.	PZC	PD	O
Ensure new commercial and residential projects include accommodations for pedestrian and bicycle infrastructure.	PZC	PD	O
Continue to coordinate with CT Department of Transportation on state roads and on future improvements to state roads within the Town.	DPW	TS	O
Encourage new development to make fair share contributions, commensurate with project impacts, to ensure that reductions in quality of services, public facilities or programs do not occur.	TC	TS	M
Continue to promote Cromwell as part of the larger Middlesex County region and coordinate future efforts to establish a regional approach to service delivery.	EDC	PD	O
<b>Strategy GW1.3: Promote Green Infrastructure and Development Standards</b>			
Promote energy conservation and green development techniques in the design and construction of Town projects.	TC	TS	O
Incorporate green infrastructure and development standards into the Zoning Regulations.	PZC	PD	S
Encourage applicants to pursue green development standards.	PZC	PD	S
Encourage new development to incorporate energy conserving and alternative energy systems and building systems that minimize energy consumption.	TC	TS	M

<b>Grow Well Goal 2: Protect the Integrity of Natural Resources</b>			
<b>Strategy GW2.1: Ensure New Development Complies with Environmental Regulations</b>			
Action Items	Responsible Entity	Support Entity	Timeline
Continue to review and ensure new development proposals are compliant with existing environmental regulations.	PZC	PD	O
Continue to comply with state environmental regulations and update regulations as necessary.	PZC	PD	O
Protect and improve water quality of the Connecticut River Watershed.	TC	TS	M
Continue to support the Town's Drainage Plan and Low Impact Development standards.	PZC	PD	S
<b>Strategy GW2.2: Enhance Open Spaces and Continue to Coordinate Management Efforts of Open Spaces</b>			
Support the Town's efforts to enhance and coordinate the use of open space.	TC	TS	O
Encourage adequate funding for the maintenance of open spaces.	TC	TS	O
Promote the development of an interconnected system of parks, trails and open spaces.	TC	TS	O
<b>Strategy GW2.3: Encourage Preservation of Unique and Sensitive Natural Resources and Open Spaces</b>			
Continue to maintain and protect the unique and sensitive natural resources and open space within the Town's borders.	TC	TS	O
Utilize grant funding as available to further the education and protection of the Town's unique and sensitive natural resources and open spaces.	TC	TS	O
Work with regional and state agencies to identify and protect critical wildlife habitat and environmentally sensitive areas within its borders.	TC	TS	O

<b>Grow Well Goal 3: Build a Resilient and Sustainable Cromwell</b>			
<b>Strategy GW3.1: Ensure Facilities and Infrastructure Are Resilient to Changing Environmental Conditions</b>			
Action Items	Responsible Entity	Support Entity	Timeline
Support the Town's utility providers in their efforts to make the Town's infrastructure more resilient to changing environmental conditions and more frequent intense storm events.	TC	TS	O
Support efforts by Town Departments to reduce the risks to life and property by upgrading and hardening Town facilities to be more resilient to changing environmental conditions and more frequent intense storm events.	TC	TS	O
Encourage the exploration of alternative energy options for Town facilities and equipment such as locating solar panels on Town building and properties.	TC	TS	O
Continue to implement the Goals, Objectives, and Recommended Mitigation Actions of Cromwell's Annex to the 2021 RiverCOG Hazard Mitigation Plan Update.	TC	TS	O
Continue to participate in FEMA's Community Rating System (CRS) program.	TC	TS	O
Support periodic tree limb inspection and maintenance programs to minimize potential for downed power lines.	DPW ES	TS	O
Maintain current Emergency Operations Plans, evacuation plans, supply distribution plans, and other emergency planning documents for the Town, as appropriate.	TC	TS	O
Evaluate emergency backup power needs at critical Town facilities.	TC	TS	O
<b>Strategy GW3.2: Promote Sustainability in Cromwell</b>			
Continue to participate in the Sustainable CT program.	CC	PD	O
Incorporate sustainable development best practices around green energy, energy efficiency, and low-impact development (LID) into the Zoning Regulations.	PZC	PD	S
Continue to encourage and promote energy efficiency upgrades to Town buildings and facilities.	TC	TS	O
Continue to explore funding mechanisms (grants) and the feasibility of installing electric vehicle charging stations on Town property.	TC	TS	O
Explore funding mechanisms (grants) for public projects to incorporate energy efficiency and sustainable building techniques.	TC	TS	O
<b>Strategy GW3.3: Engage Cromwell's Population on Matters Related to Changing Environmental Conditions through Outreach and Education</b>			
Continue to utilize resident communication methods that the Town has in place for emergency situations.	TC	TS	O
Continue to supply emergency preparedness information on the Town's website.	TC	TS	O
Continue to coordinate with other neighboring towns and RiverCOG on emergency preparedness.	TC	TS	O
Continue to implement the Town's Hazard Mitigation Plan.	TC	TS	O

Grow Well Goal 4: Expand Cromwell's Economic Base to Best Serve Residents, Businesses, and Visitors			
Strategy GW4.1: Promote Economic Growth, Business Retention, and Expansion			
Action Items	Responsible Entity	Support Entity	Timeline
Continue to enhance economic development and business regulations and processes to support existing Town businesses.	EDC	PD	S
Continue to maintain open communication with the Town's business community and engage in discussions about business retention efforts.	EDC	PD	S
Support efforts to supply updated information to local businesses on grants and other funding opportunities.	EDC	PD	S
Continue to work with the Middlesex County Chamber of Commerce.	TC	PD	S
Encourage and support communication with other neighboring towns and the region on economic development issues.	TC	PD	S
Support the continuation of the local Farmers Market.	TC	TS	O
Continue to work with local realtors to actively market vacant or underutilized commercial spaces.	PD	PD	O
Strategy GW4.2: Provide Opportunities for New Economic Development			
Continue Town efforts to attract new businesses that support the needs of Town residents.	EDC	PD	O
Continue to support the appropriate development of the commercial zoned land in the Town.	PZC	PD	O
Encourage infill development and redevelopment of underutilized buildings and parcels.	EDC RA	PD	O
Work with the Middlesex Chamber of Commerce, the Connecticut Small Business Administration, and the Connecticut Small Business Development Center to supply assistance to new and expanding businesses in the Town.	TC	TS	O
Review Town regulation pertaining to home occupations to identify ways to expand allowability and processes for home-based businesses in an ever-changing business environment.	PZC	PD	S
Promote waterfront development as an economic development tool through the development of a waterfront plan.	TC	TS	L
Promote mixed-use development in Historic Downtown to enhance commercial and cultural opportunities.	PZC	PD	M
Encourage pedestrian-accessible neighborhood commercial development in appropriate locations.	PZC	PD	M

Play Well Goal 1: Create a Vibrant Riverfront that includes a Balance of Development and Recreation			
Strategy PW1.1: Encourage Commercial, Residential, and Recreational Uses Along the Riverfront			
Action Items	Responsible Entity	Support Entity	Timeline
Continue to maintain and expand as needed existing recreation facilities along the riverfront.	TC	TS	O
Create a riverfront special area plan which identifies a mix of uses and public amenities.	TC	TS	L
Amend the Zoning Regulations to achieve the vision of a riverfront special area plan.	PZC	TS	L
Seek funding and grant opportunities to achieve the vision of a riverfront special area plan.	TC	TS	L
Strategy PW1.2: Provide More Connections to Cromwell’s Historic Downtown and the Riverfront			
Encourage and explore pedestrian and bicycle connections for greater access between the Historic Downtown and the riverfront.	TC	TS	L
Create a riverfront special area plan which explores a variety of connections between the Town and the riverfront, and within the riverfront.	TC	TS	L
Support increased wayfinding signage or other signage within the riverfront area.	TC	TS	L
Encourage public access points to the Connecticut River from within the riverfront area.	TC	TS	L

<b>Play Well Goal 2: Provide a Town Park System that Meets the Needs of all Residents</b>			
<b>Strategy PW2.1: Maintain and Enhance Town Parks</b>			
Action Items	Responsible Entity	Support Entity	Timeline
Encourage the development of a park and recreation master plan to fully study the park needs of current and future residents.	TC	TS	L
Support efforts to develop additional park facilities as warranted by population size and available financial resources.	TC	TS	L
Focus future park acquisitions on the development of active recreational opportunities to establish a balance between active and passive opportunities.	TC	TS	L
Continue to provide and improve parks facilities for active and passive recreation.	TC	TS	O
<b>Strategy PW2.2: Promote Connections between Parks and Open Space Areas, and Enhance Public Access to All Parks and Open Space Areas</b>			
Encourage the linkage between existing park and open space parcels that would create greenways and wildlife corridors.	TC	TS	S
Continue to maintain existing park access points and ensure all parks are ADA accessible.	TC	TS	S
Pursue funding and grants to enhance park connections and access.	TC	TS	S
Encourage the development of a Complete Streets Policy and Plan for the Town that includes linkages and connection strategies for parks and open spaces.	TC	TS	S
<b>Strategy PW2.3: Preserve and Protect Natural Habitats and Biodiversity within Parks And Open Spaces</b>			
Encourage adequate funding for the maintenance of open spaces.	TC	TS	S
Explore updating the Town's Open Space Plan (Adopted in 2012).	PZC	PD	S
Preserve areas that provide opportunities for environmental education.	TC	TS	S
Seek funding and grants to assist in the preservation and protection of natural habitats within parks and open spaces.	TC	TS	S

**Play Well Goal 3: Create a Healthy Lifestyle for Residents through the Provision of Recreation Opportunities**

**Strategy PW3.1: Maintain and Enhance Parks and Recreation Opportunities**

Action Items	Responsible Entity	Support Entity	Timeline
Support the continuation of the Town's recreation programs for youths, adults, and seniors and seek ways to enhance the various facilities and programs.	TC	TS	O
Improve pedestrian and bicycle opportunities and connections throughout Cromwell.	TC	TS	S
Encourage the development of a park and recreation master plan to fully study the recreation needs of the community.	TC	TS	L
Support efforts to create a community center and a senior center.	TC	TS	L
Continue to support the Town's recreation programming for youths and seniors.	TC	TS	O
Pursue a kayak rental vendor for the riverfront area.	TC	TS	O
Encourage bicycle tours of the Town for families and Town residents.	TC	TS	S
Continue to promote increased awareness of the Town's parks and recreation programs through the Town's website and other social media methods.	TC	TS	O

**Strategy PW3.2: Cooperate with Local and Regional Organizations to Promote the Health and Well-Being of Cromwell's Residents**

Continue to provide recreational facilities and programs that meet the needs of current and future residents.	TC	TS	O
Continue to pursue connections with other nearby towns and regional organizations related to recreation facilities and programs.	TC	TS	O
Support the development of a healthy Cromwell initiative.	TC	TS	O

**Play Well Goal 4: Expand Cultural Arts and Entertainment Opportunities within the Town**

**Strategy PW4.1: Explore Public/Private Partnerships between the Town and Arts and Entertainment Organizations**

Action Items	Responsible Entity	Support Entity	Timeline
Encourage cooperation and communication between existing volunteer groups, historic and cultural institutions.	TC	TS	S
Continue to support existing partnerships that the Town already has with the cultural arts community.	TC	TS	O
Seek to maintain promotional materials and activity guides that promote awareness of the Town's attractions.	TC	TS	O

**Strategy PW4.2: Explore Opportunities that Would Enhance the Cultural and Entertainment Uses within Cromwell**

Continue to protect areas of historical and cultural significance within the Town and explore ways to further promote these locations and facilities to the benefit of the community.	TC	TS	O
Seek funding and grant opportunities that would enhance and promote historical and cultural resources of the Town.	TC	TS	L
Seek funding and grant opportunities to support and expand Town events and festivals.	TC	TS	S
Continue to support and link opportunities with existing Town programs like the summer concerts, movie on the park, and farmers' market.	TC	TS	O

A photograph of a baseball field. In the foreground, there is a chain-link fence with a yellow top rail. The field is green with visible mowed stripes. In the background, there are trees and a clear blue sky. The text "APPENDIX C DATA DECK" is overlaid in the center of the image.

# APPENDIX C DATA DECK



JULY 2023

# TOWN OF CROMWELL

PLAN OF CONSERVATION AND DEVELOPMENT  
DATA INVENTORY & ANALYSIS

# TABLE OF CONTENTS

- Demographics
- Land Use + Zoning
- Housing
- Economic Development
- Transportation
- Community Facilities + Infrastructure
- Parks, Recreation + Open Space
- Cultural + Historic Resources
- Natural Resources
- Climate Resilience + Sustainability

# ABOUT THE DATA

- This analysis is to serve as a snapshot of Cromwell today.
- It uses the most recent and publicly available data including but not limited to:
  - 2020 US Census
  - American Community Survey
  - CT Department of Economic and Community Development
  - CT Department of Transportation
  - CT Department of Labor
  - Partnership for Strong Communities
  - Others as noted
- Data sources as of July 2022.
- There may be errors and omissions in this preliminary analysis due to the nature of the data, however, all data points will be updated as the data becomes available and upon further review by the consultant and Town Staff.

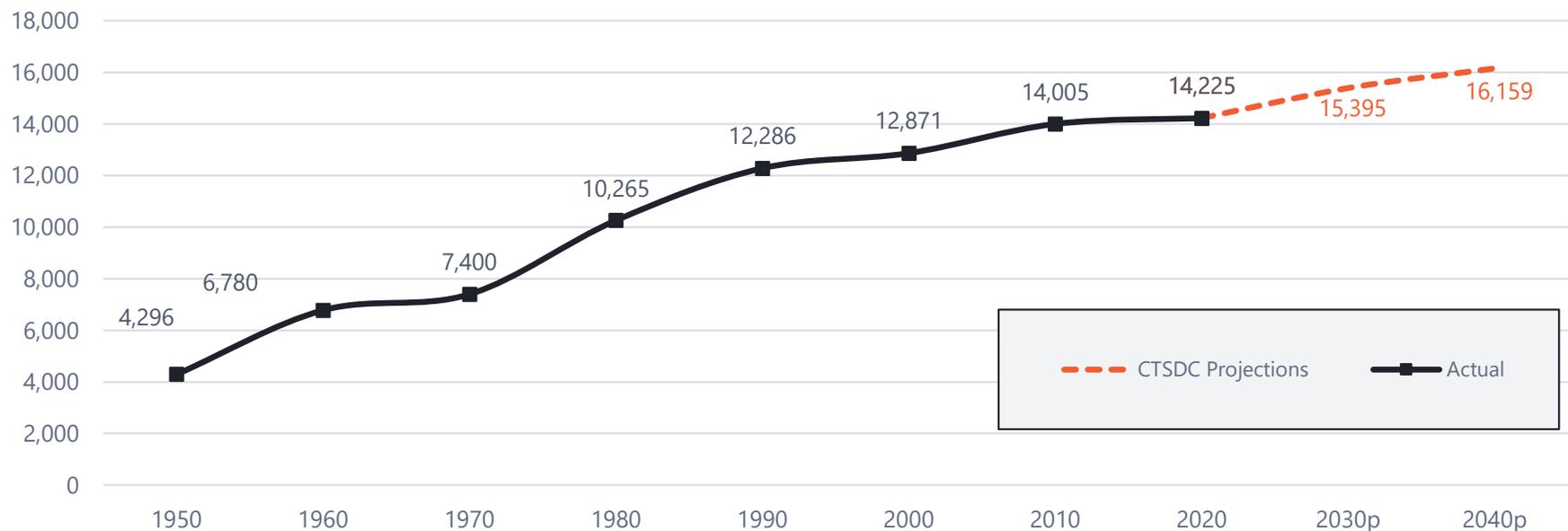


# DEMOGRAPHICS

# POPULATION

- Cromwell experienced its fastest population growth from 1950-1960 (+57.8%) and from 1970-1980 (+38.6%).
- There was a 1.5% population increase between 2010 and 2020.
- Recent stabilization of population likely due to lack of large developable tracks of land remaining. Future growth would need to be redevelopment.
- CTSDC population projection are higher than recent trends.

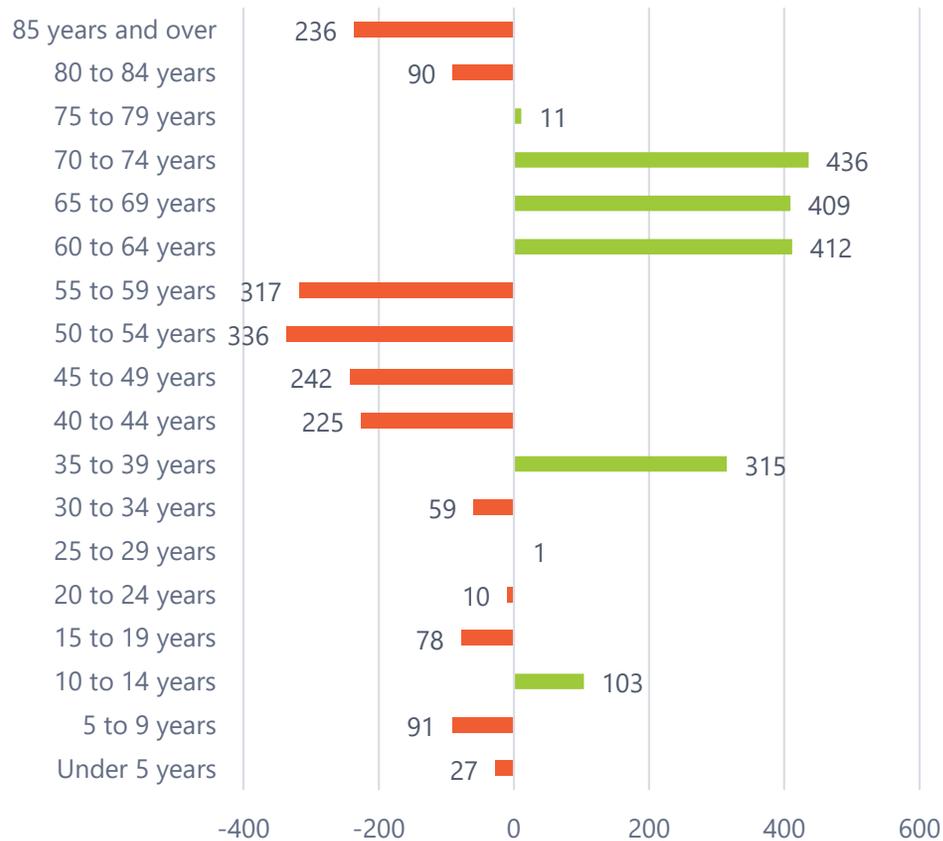
**Historical and Projected Population in Cromwell: 1950 to 2040**



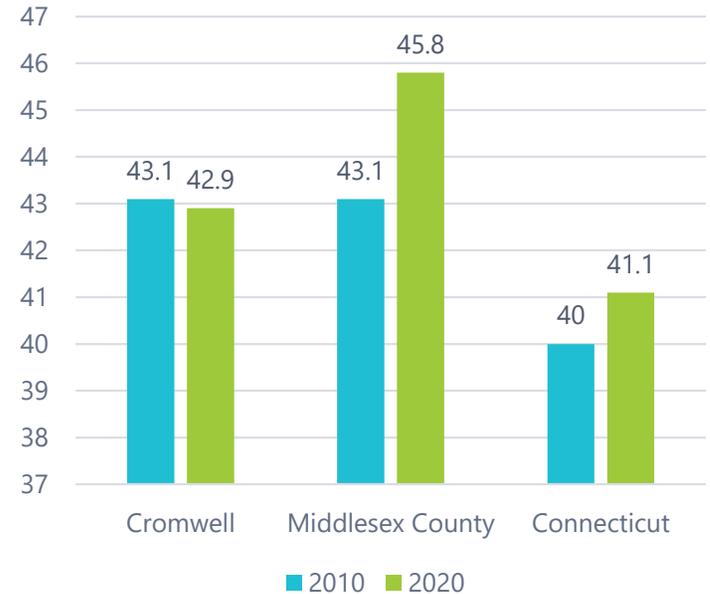
Sources: U.S. Census Bureau Decennial Census, 1950-2020. Projected Population by CTSDC (data last updated in 2017).

# AGE

## Change in Population 2010 - 2020



## Median Age

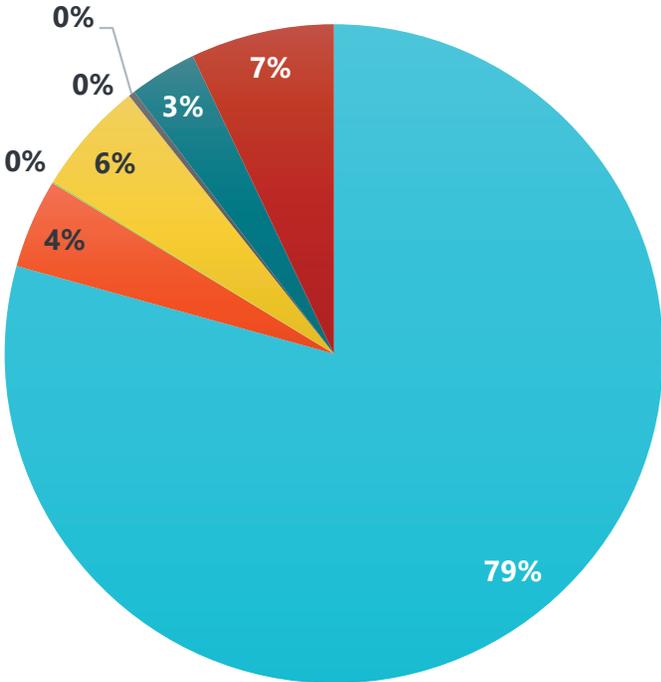


Left Source: American Community Survey 2010, 2020  
 Above Source: ACS 5-year Estimates, 2020 and 2010 US Census Decennial Survey

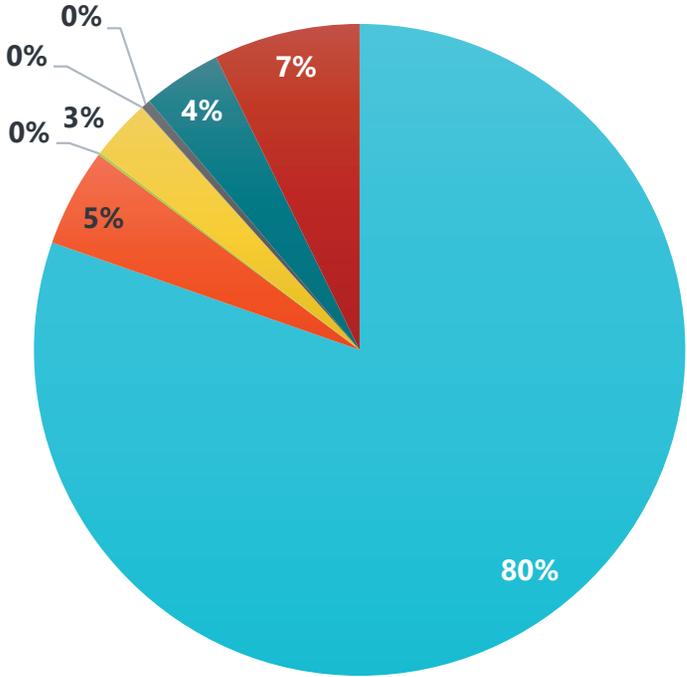
- Middle age (40-59) population shrank between 2010 and 2020 while the 60 to 74 population age group grew.
  - Population aging in place.
- As of 2020, Cromwell's median age was **42.9 years old**, down from **43.1 in 2010**.

# RACE & ETHNICITY

### Cromwell Racial Composition, 2020



### Middlesex County Racial Composition, 2020



Source: 2020 Census

- Cromwell has a similar racial composition as Middlesex County
- Both Cromwell and Middlesex County are predominately white



# RACE & ETHNICITY

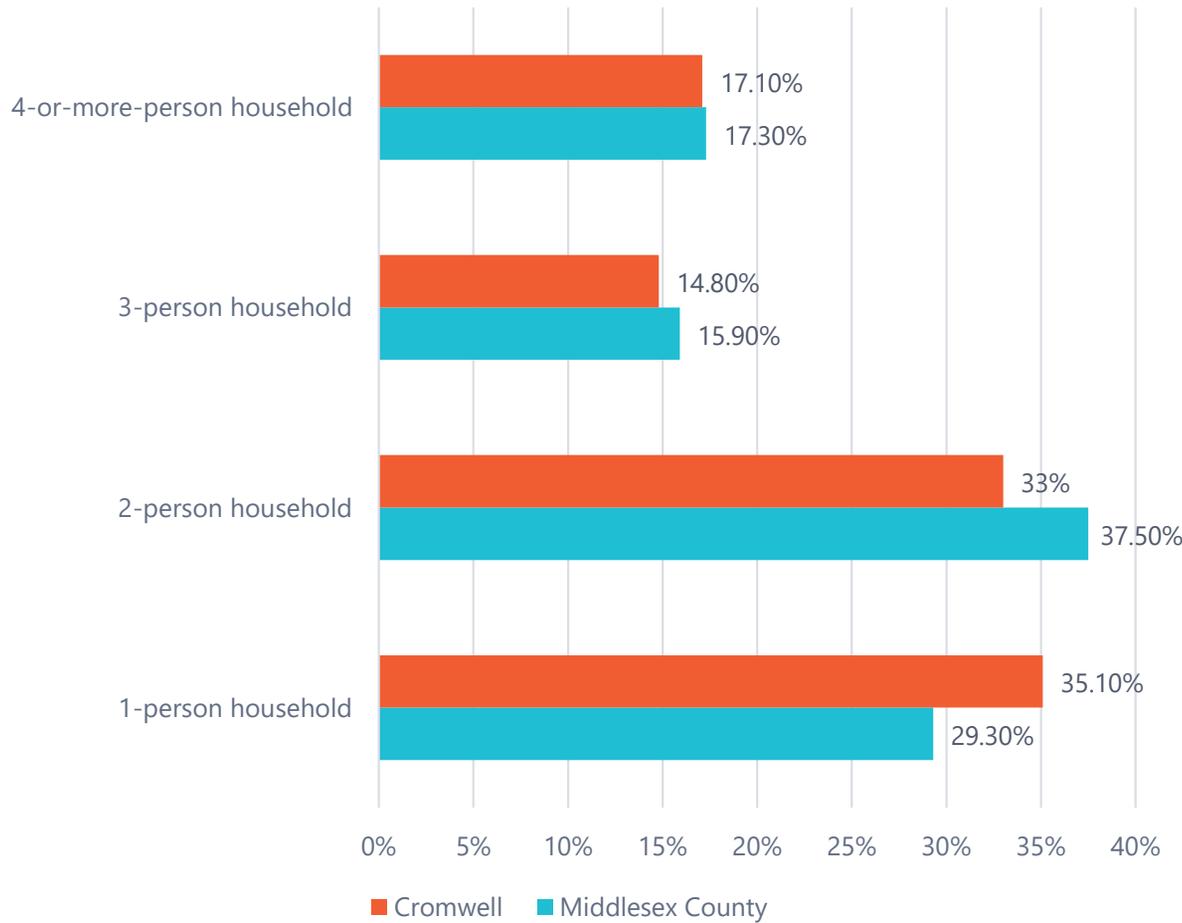
- **The population Cromwell is diversifying. Between 2010 and 2020:**
  - The Hispanic/Latino population grew by 370 people or 58%
  - The Asian population grew by 329 people or 71%
  - The White population has declined by 853 people or 7%, though still represents about 79% of Cromwell's total population

Mutually Exclusive Racial or Ethnic Group	2010		2020		Change from 2010 to 2020	
	Count	% of Total	Count	% of Total	Net	Percent
<b>Not Hispanic or Latino</b>	<b>13,372</b>	<b>95.5%</b>	<b>13,222</b>	<b>92.9%</b>	<b>-150</b>	<b>-1.1%</b>
White	12,132	86.6%	11,279	79.3%	-853	-7.0%
Black or African American	552	3.9%	623	4.4%	71	12.9%
American Indian and Alaska Native	12	0.1%	12	0.1%	0	0.0%
Asian	462	3.3%	791	5.6%	329	71.2%
Native Hawaiian and Other Pacific Islander	1	0.0%	0	0.0%	-1	-100.0%
Some other race alone	9	0.1%	44	0.3%	35	388.9%
Two or more races	204	1.5%	473	3.3%	269	131.9%
<b>Hispanic or Latino (all races)</b>	<b>633</b>	<b>4.5%</b>	<b>1,003</b>	<b>7.1%</b>	<b>370</b>	<b>58.5%</b>
<b>Total:</b>	<b>14,005</b>		<b>14,225</b>		<b>220</b>	<b>1.6%</b>

Source: US Census 2010, 2020

# HOUSEHOLD COMPOSITION

## Cromwell and Middlesex County Household Size



**2.35**  
Average Household Size in Cromwell

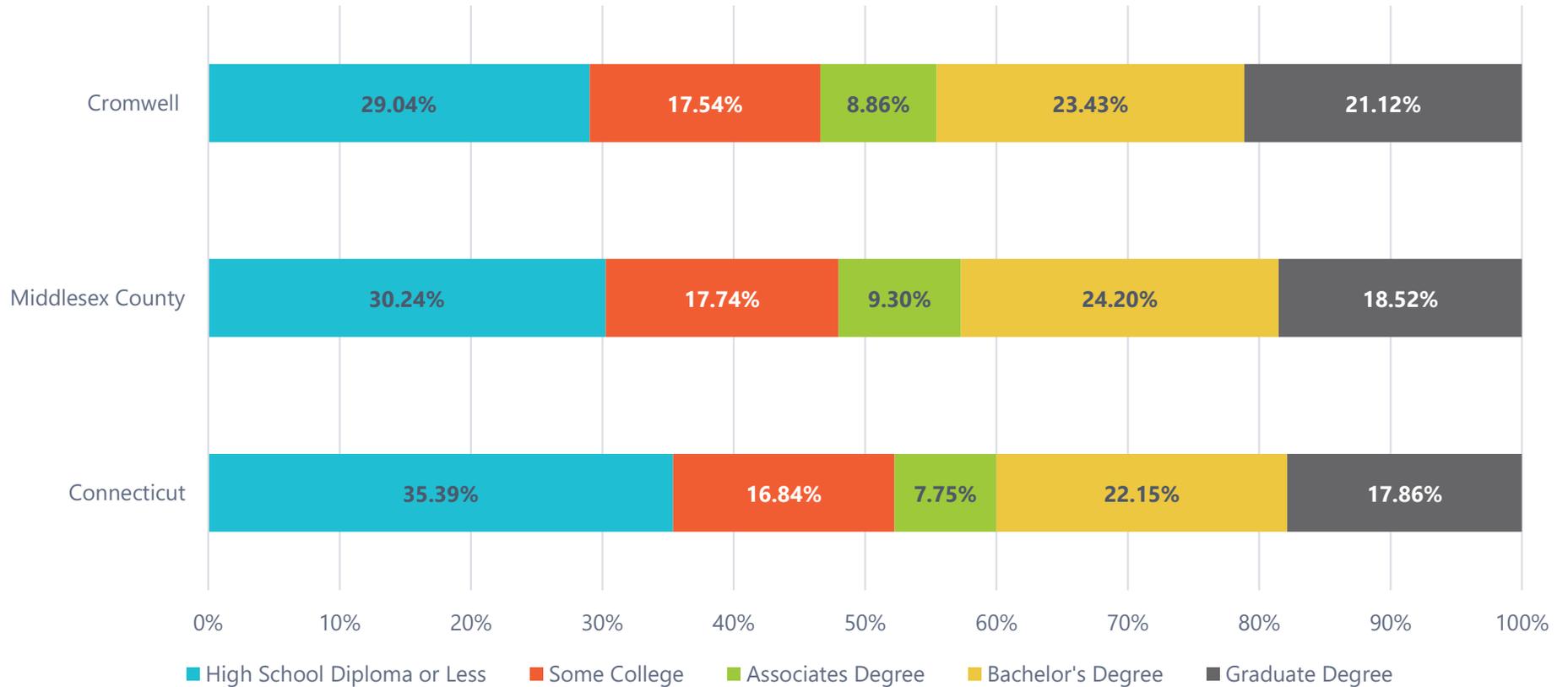
**2.31**  
Average Household Size in Middlesex County

Source: ACS 5-Year Estimates 2020

- Compared to Middlesex County, Cromwell has more 1-person households and less 2+ person households. Largely due to higher density of apartment and condominium units in housing stock.

# EDUCATION

## Educational Attainment (25 years and older)

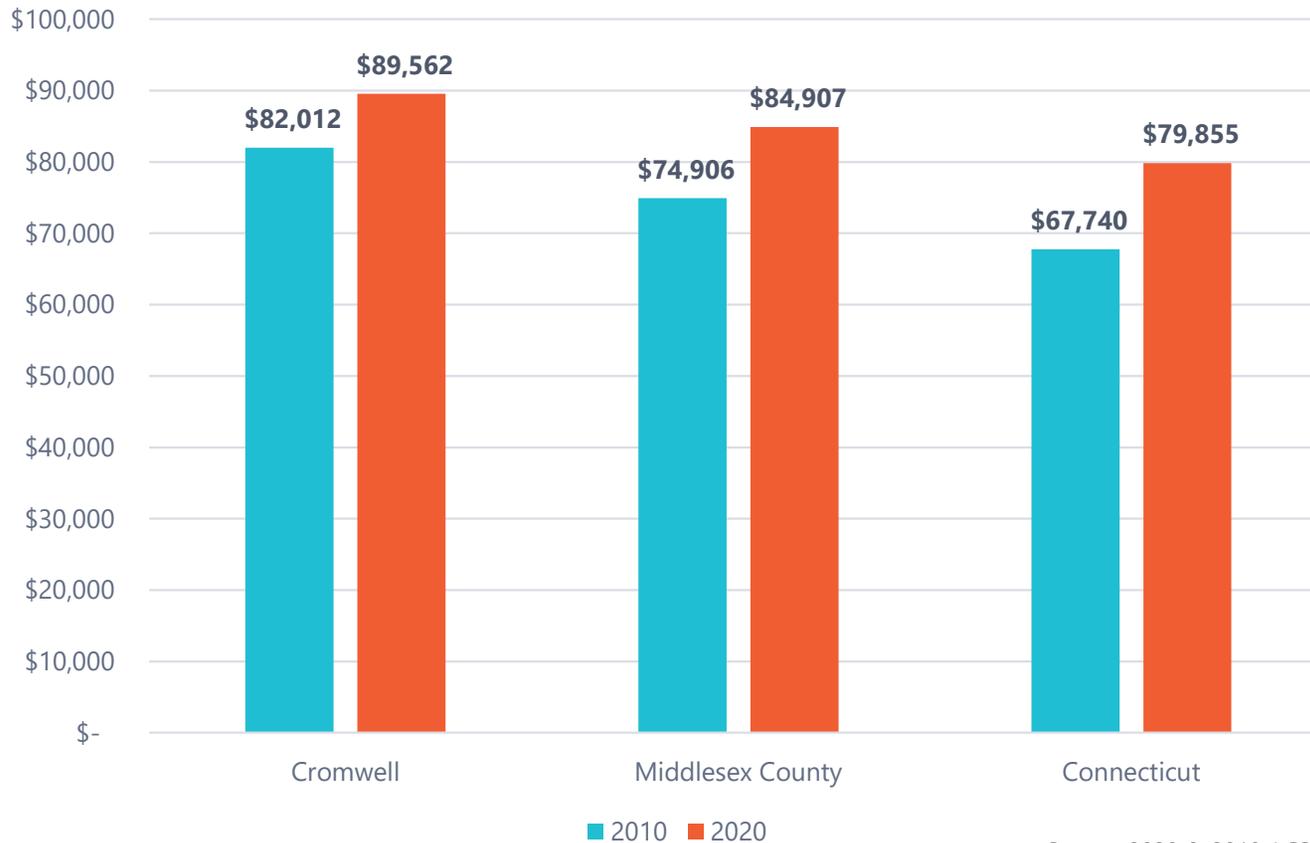


Source: ACS 5-Year Estimates 2020

- **About 50% of adults aged 25 years old and over have an Associates degree or higher** – slightly higher than the State and County average.

# INCOME

## Median Household Income, 2010 vs 2020



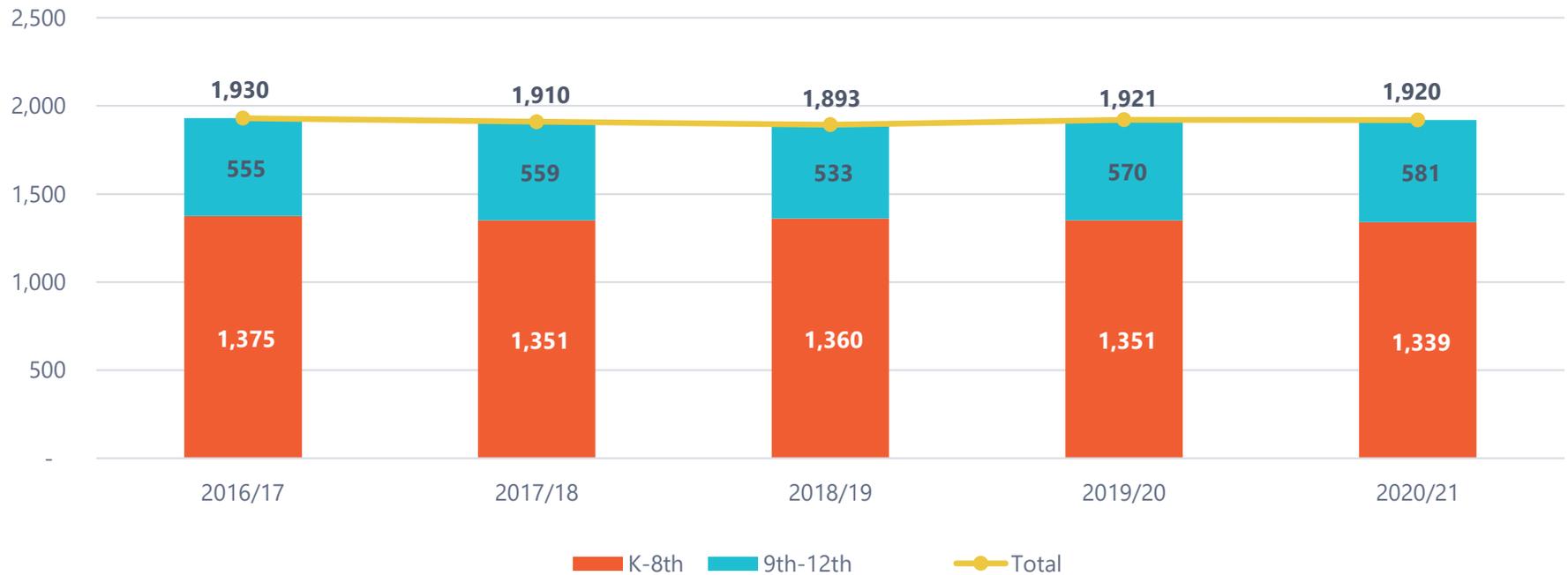
Source: 2020 & 2010 ACS 5-year Estimates

- In 2020, Median Household income in Cromwell is about 5.5% higher than Middlesex County and 12.2% higher than the State of Connecticut.

# PUBLIC SCHOOL ENROLLMENT

- Enrollment has been steady over the past five school years.
- Total K-12 enrollment declined by only 10 students over the past five years

## Cromwell Historical School Enrollment, 2016-17 to 2020-21



Source: Connecticut State Department of Education; EdSight Enrollment

# DEMOGRAPHICS TAKEAWAYS

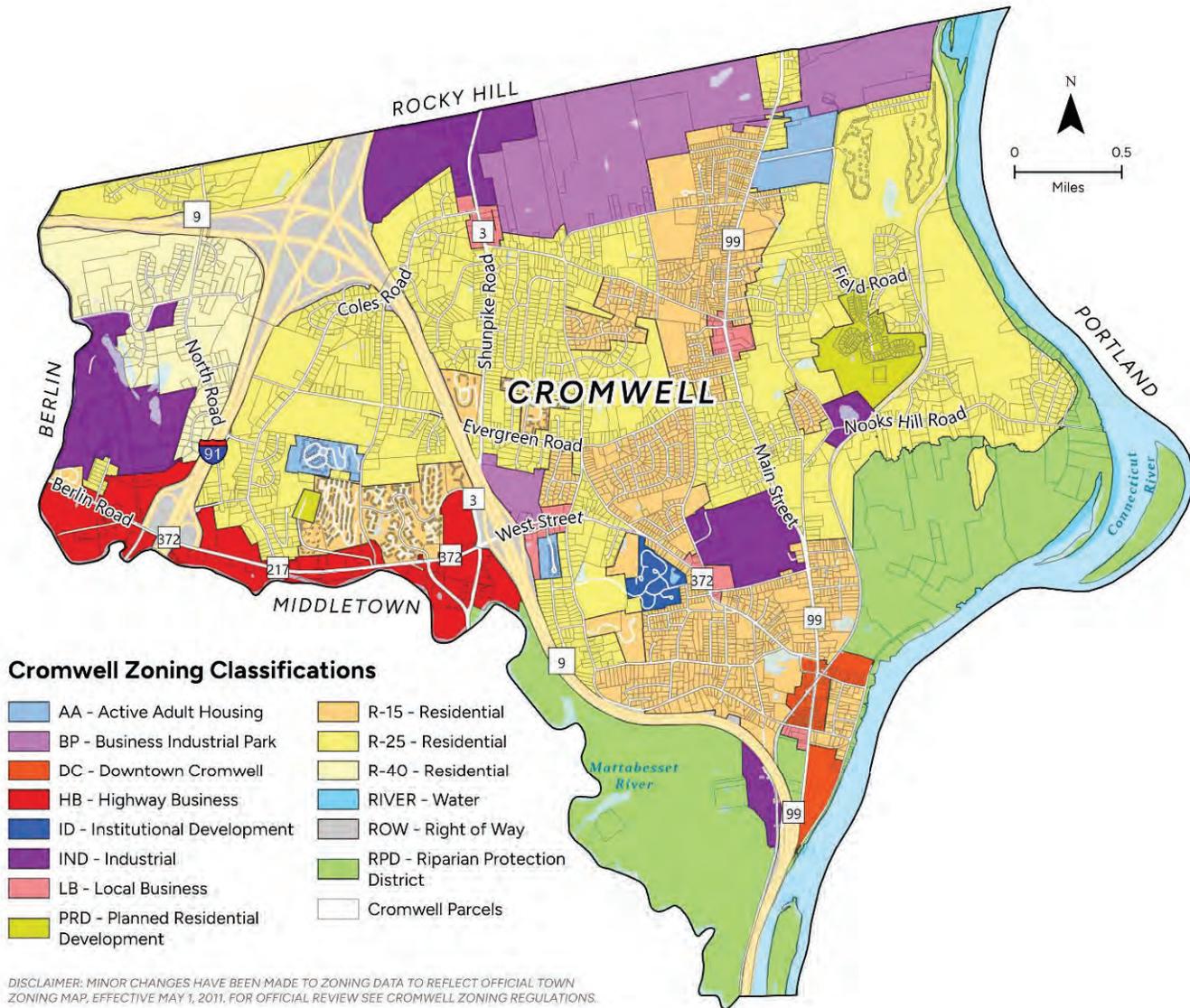
- The Town's population has been stable over the last 10 years but is expected to increase over the next planning period.
- The Town's population is aging in place with recent growth in the 60 to 74 age group. However, the overall median age dipped slightly between 2010 and 2020.
- The Town has similar race and ethnicity characteristics as the County.
- The Town's current average household size is 2.35.
- The Town's population has slightly higher education attainment levels than the County and State and has higher median income levels.
- School enrollment rates are stable.



# LAND USE & ZONING

# ZONING REGULATIONS

- 2015 Zoning Regulations are in the Process of being Updated.
- 3 residential zones:
  - R-15, R-25, R-40
- Two-family dwellings allowed by-right
- Active Adult Housing Zone
- Planned Residential District (PRD)
- Mixed-Use District – “live, work, play” environments



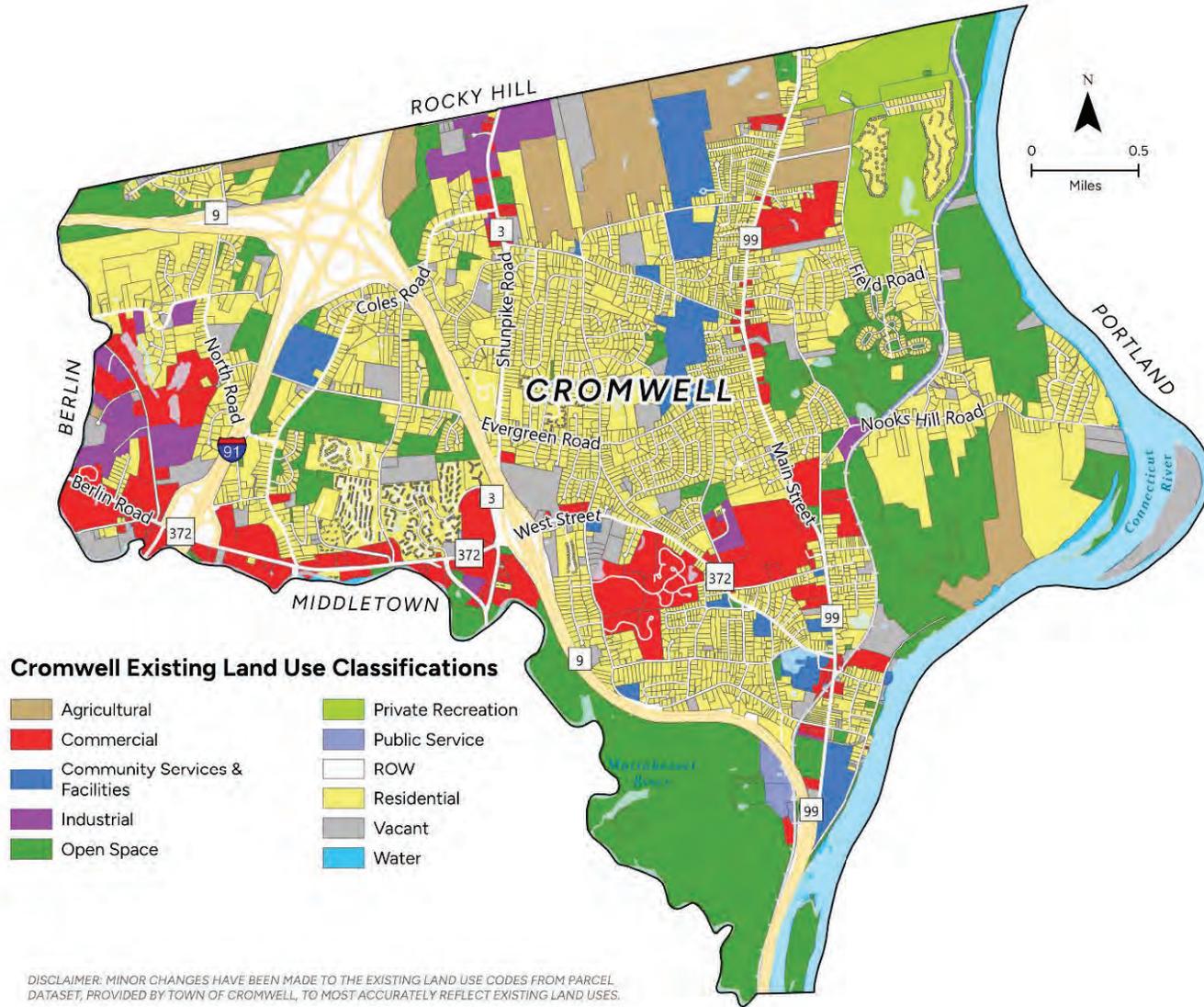
# REVIEW OF EXISTING POCD

- 2007/12 Town of Cromwell Plan of Conservation and Development
  - The Existing POCD:
    - Evaluates existing conditions;
    - Outlines goals, objectives, and policies for the Town to consider;
    - Offers project recommendations and identifies the responsible parties, costs, and timeframes to implement each recommendation;
    - Creates a “Development Potentials Plan” focused on opportunities for connections, new development features, and new land use opportunities;
    - Considers multiple Build Out Scenarios
  - Future Land Use Plan includes:
    - Creation of a “Town Center” with a Community Center, Historical Commercial strip, and area of medium density housing with mix commercial uses.
    - Vibrant waterfront with mix of commercial, recreational, and residential uses in area of South Main St. between Main St. and River Rd.
    - Using undeveloped northern section of the Town to market as business park.
    - Designating more mixed-use zones.
    - Central park in Town Center area.
    - Avoid building in conservation areas, potentially create further restrictions on Aquifer Protection Overlay.

# LAND USE

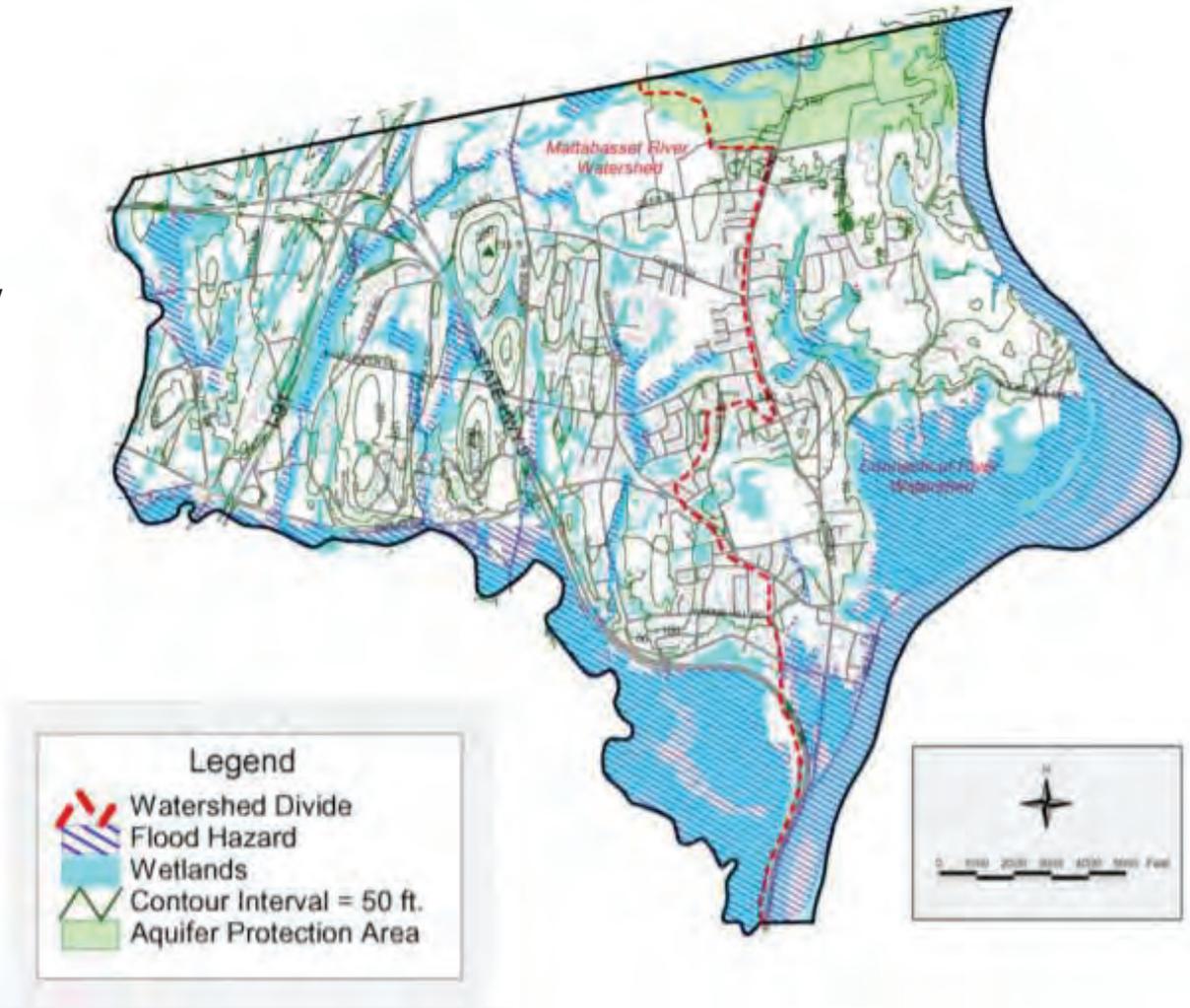
Land Use	
Agricultural	6.2%
Commercial	9.3%
Community Services & Facilities	3.5%
Industrial	2.3%
Open Space	21.7%
Private Recreation	3.5%
Public Service	1.1%
Residential	39.4%
Vacant	5.9%
Water	6.9%

- Vacant, Open Space, and Agricultural land uses account for **33.8%** of the Town's land
- Residential land use accounts for nearly **40%** of the Town's land



# EXISTING POCD – AVAILABLE & SUITABLE LAND

- Limited available land / Almost fully developed
- Natural constraints to development include:
  - bedrock, ridges, topography, soils, wetlands, floodplains, Aquifer Protection Areas, Natural Diversity Database
- Cromwell is within the Connecticut River and the Mattabasset River Watersheds
- 17% of Town is within the Connecticut River Flood Plain Zoning District
- 19% of Town is comprised of parks and open space



Source: 2012 POCD

# 2012 OPEN SPACE PLAN

- 2012 Town of Cromwell Open Space Plan
  - Overall goal is to preserve, protect, and enhance the quality of life in Cromwell via the maintenance and acquisition of undeveloped land.
    - Maintain Cromwell's rural character.
  - Identifies significant open space parcels and notes their ownership, protection level (or lack of), and the primary use of the parcel.
  - See the Park, Recreation, and Open Space section for more information on the Open Space Plan.

# 2022 AFFORDABLE HOUSING PLAN

- Affordable Housing Plan adopted in June 2022
- Identifies 6 strategies for the Town to pursue over the next 5 years
  - Strategy #1 - Continue to maintain the diversity of Cromwell's housing stock.
  - Strategy #2 - Cromwell should explore providing a zoning incentive to developers that include affordable units in new developments.
  - Strategy #3 - Promote Middle Housing by encourage two-family units and/or conversion of single-family units.
  - Strategy #4 - The Town should consider revising its Accessory Dwelling Unit (ADU) regulations.
  - Strategy #5 - Strengthen Cromwell's capacity to Implement this Affordable Housing Plan.

# REGIONAL PLANNING DOCUMENTS

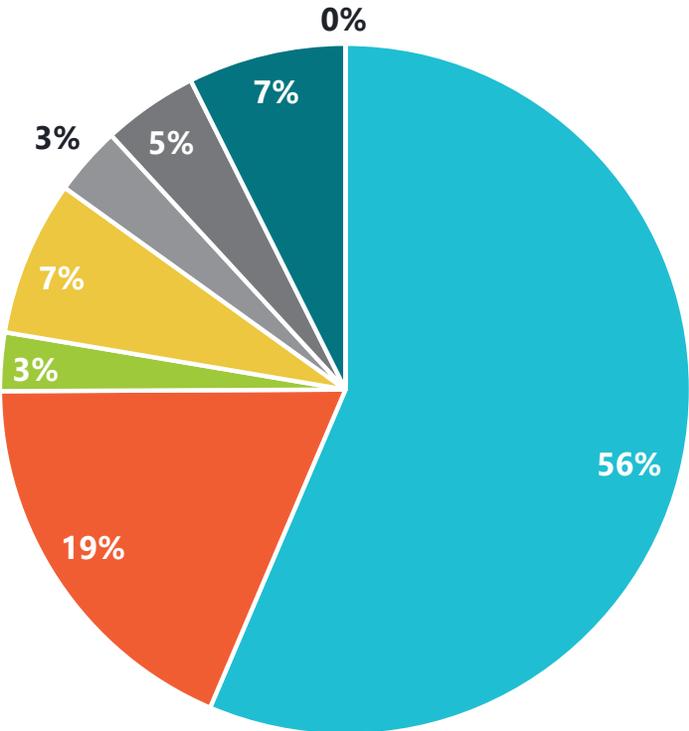
- RiverCOG Regional POCD
  - Summarizes the existing conditions in the region for demographics, housing, built environment, and natural resources;
  - Developed four themes for the region moving forward; Sustainable, Connected, Innovative, and Community;
  - Identified goals and recommendations for each theme;
  - Created a Future Land Use Map to guide land use priorities within the region
- RiverCOG Regional Housing Plan
  - Assesses the Region's existing housing characteristics and identifies needs through a Baseline Assessment, Suitability Analysis, and Alignment with the RPOCD
  - Outlined three major recommendations for the region:
    - Create a Housing Toolkit, Study the Capacity for TOD, and Establish a Region Housing Commission
  - Created Affordable Housing Plans for each individual community in the Region



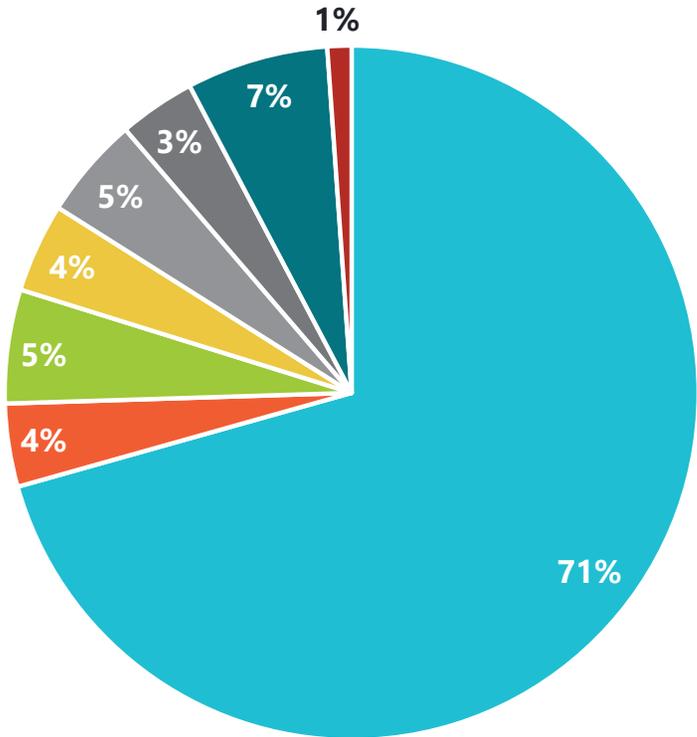
# HOUSING

# HOUSING TYPOLOGY

Cromwell Dwelling Types



Middlesex County Dwelling Types



Source: ACS 5-Year Estimates 2020

- Compared to Middlesex County, Cromwell has a smaller portion of single-family detached but a higher portion of single-family attached units (townhomes, condo units).
- Diverse housing stock – About 56% single-family units, 19% single-family attached units, 10% 2-4 family units, and 15% in buildings with five or more units.

# HOME CONSTRUCTION

- Housing growth rate in Cromwell since 2010 exceeds both County and State.
- From 2001 to 2006, Cromwell averaged 54 new housing permits per year.
- Between 2007 and 2021, the Town has averaged 23 new housing permits per year. All permits were single family.
- Single-family housing development has yet to return to levels seen in the early 2000s.

**Cromwell Housing Permits and Demolitions**



Municipality	Housing Unit Change		
	2010	2020	Change
Cromwell	5,701	6,006	5.3%
Middlesex County	74,021	76,449	3.3%
Connecticut	1,475,657	1,521,199	3.1%

Source: ACS 5-Year Estimates 2020

# HOME SALES

**Town of Cromwell Home Sale Trends: 2000 to 2022**



- Significant drop in sales activity between 2005 to 2011 – tied to Great Recession and slower pace of home construction.
- Partial recovery in single-family sales over the last five years, but still lagging from pre-2008 peak years.
- Traditionally, condo sales higher than single-family unit sales in Cromwell.

# HOME SALE PRICES

## Town of Cromwell Median Sale Price Trends: 2000 to 2022



- Median sale price for single-family homes in Cromwell increased by 12.1% from \$300,000 (2021) to \$336,250 (2022)
- Condo prices have risen 31.1% from \$152,500 (2021) to \$200,000 (2022)
- 2022 median sales prices surpassed the previous peak in 2007.

# HOME VALUE

**Cromwell Distribution of Owner-Occupied Home Values, 2020**



Source: ACS 5-Year Estimates 2020 DP04

**\$236,300**

Median Home Value  
in Cromwell

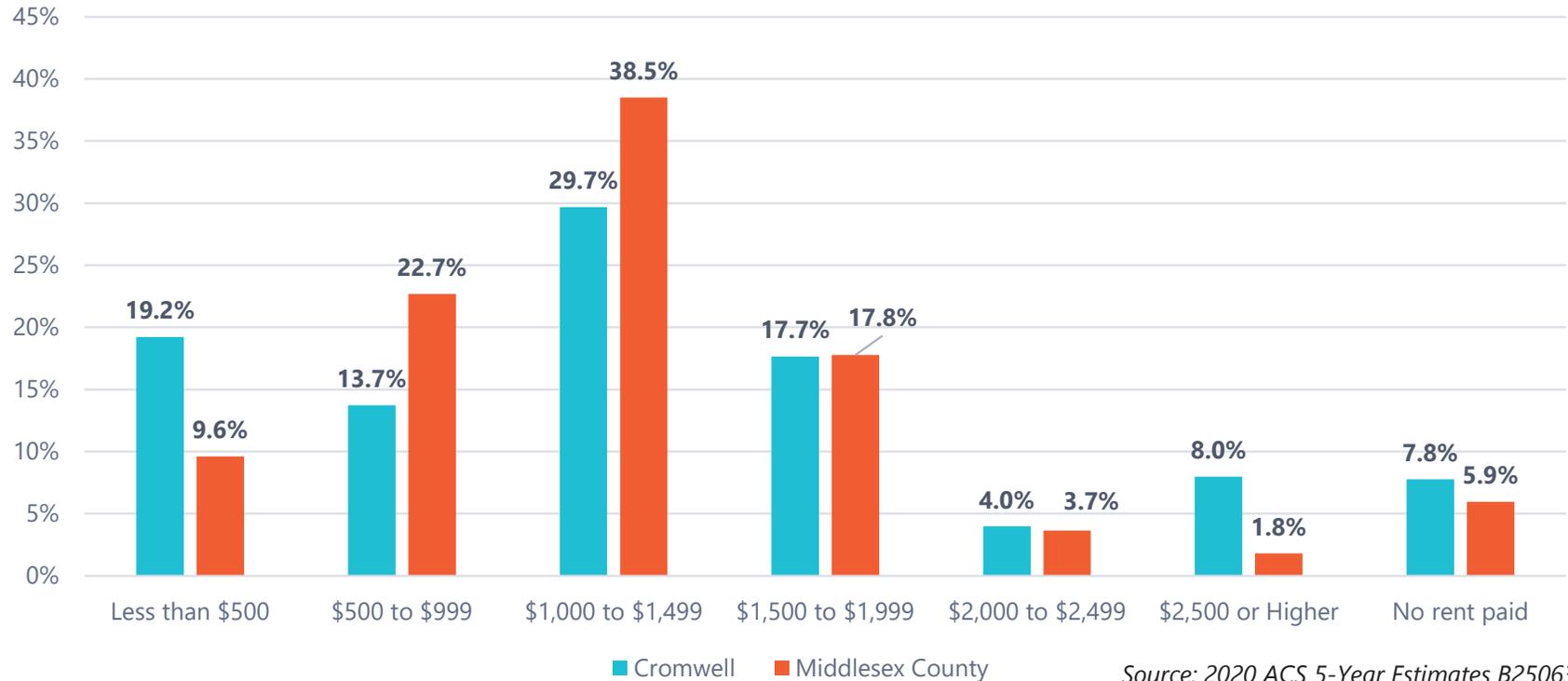
**\$275,400**

Median Home Value  
in Connecticut

- Majority of home values are less than \$300k.
- Cromwell has lower median home value than Connecticut.
  - About 35.7% of home values are less than \$200k.
  - 29.5% are between \$200k and \$300k.
  - 27.1% are between \$300k and \$500k.

# GROSS RENT DISTRIBUTION

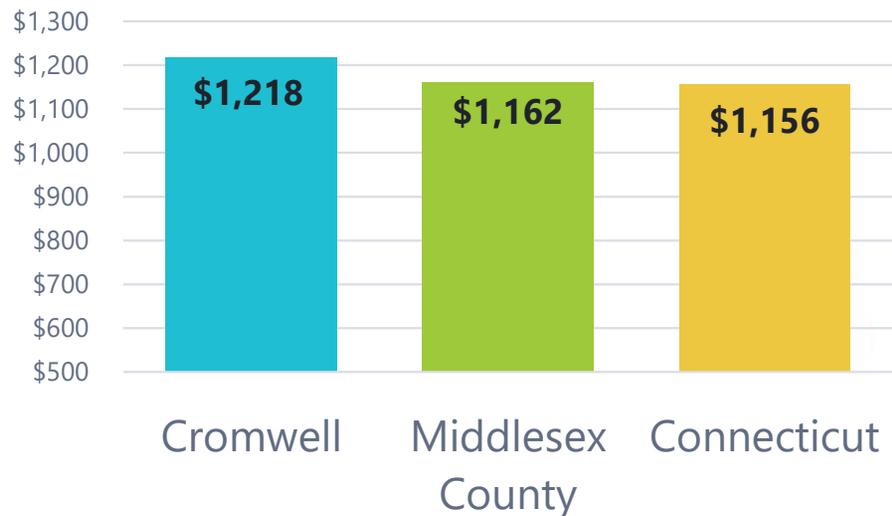
## Distribution of Gross Monthly Rent



- Cromwell has a diverse range of rental units.
- Compared to the County:
  - Cromwell has more lower end rental units (less than \$500) than the County
  - Cromwell has more luxury rental units (more than \$2,500) than the County

# RENTAL OPTIONS

### Median Rent



### Housing costs as percent of income

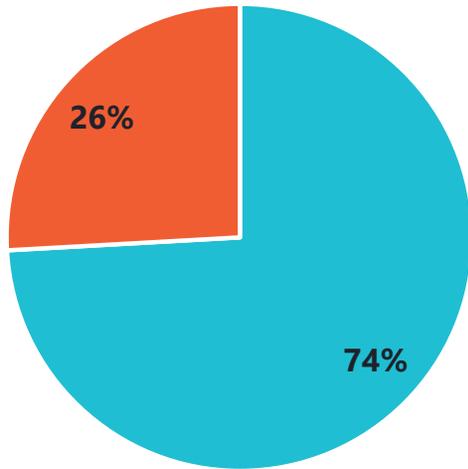


Source: Partnership for Strong Communities Housing Profile for Cromwell 2020

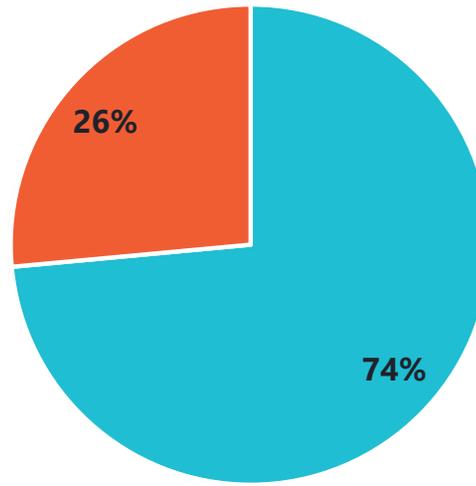
- **Compared to State and County median pricing, Cromwell has slightly higher rental costs**
- Median rent in Cromwell is \$1,218 which is slightly higher than the County and State.
- Renters on average pay 24% of their income toward housing.

# HOUSING TENURE

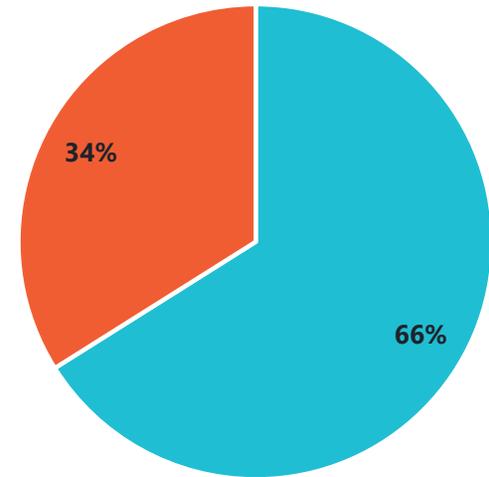
**Cromwell  
Housing Tenure, 2020**



**Middlesex County  
Housing Tenure, 2020**



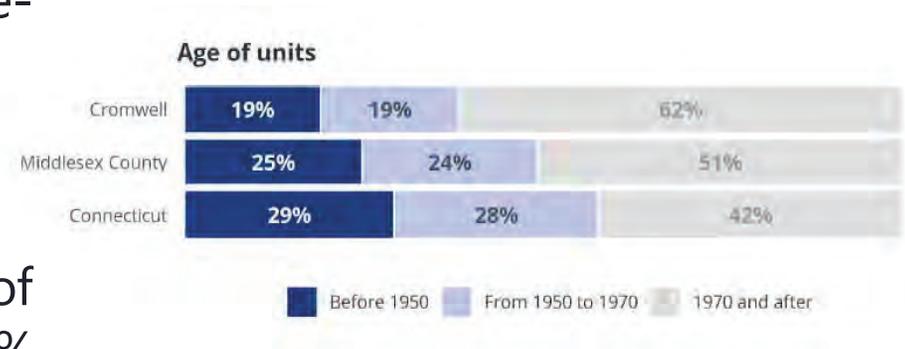
**Connecticut  
Housing Tenure, 2020**



■ Owner-Occupied ■ Renter-Occupied

Source: ACS 5-Year Estimates, 2020

- Cromwell has an identical tenure make-up as Middlesex County on average, 74% owner-occupied.
- Cromwell does have a newer composition of units with about 62% of units built after 1970, compared to 51% of units in Middlesex County, and 42% of units in Connecticut

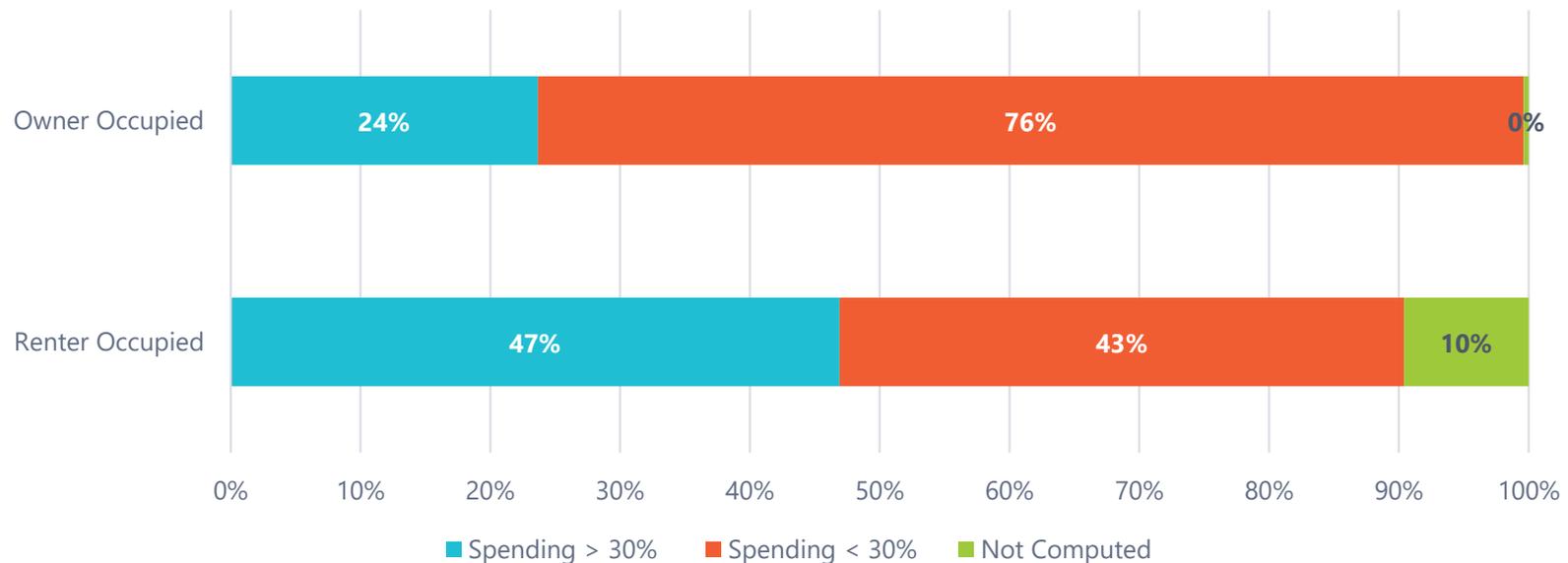


Source: Partnership for Strong Communities Housing Profile for Cromwell 2020

# COST BURDEN AND TENURE

- The Department of Housing and Urban Development (HUD) recommends that no more than 30% of household income be spent on housing. This includes mortgage or rent, property taxes, HOA fees, insurance, and utilities.
- Households that spend more than 30% of their income on housing may have difficulty affording other necessities such as food, clothing, transportation, and medical care.
- Renters are more likely to be cost burdened than homeowners.

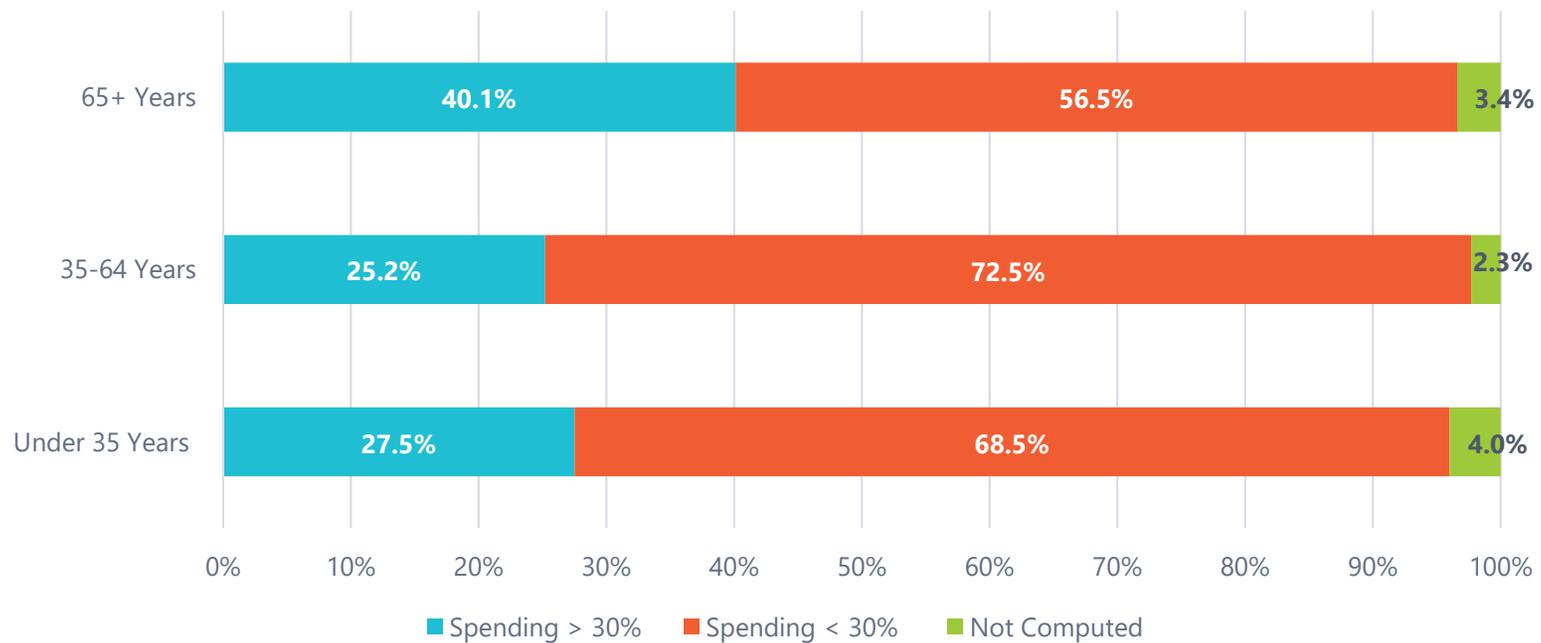
**Percent of Households that are Cost Burdened, by Tenure**



# COST BURDEN AND AGE

- Seniors are more likely to experience cost burden (~ 40%) compared to other age groups.
- Note: "Income" does not include assets that may be able to cover housing costs such as trusts, property, etc.

Portion of Income Spent on Housing, by Age of Householder



# CROMWELL LOWER INCOME / HOUSING AFFORDABILITY NEEDS

- There are **1,690 households** in Cromwell (**28%** of the total households) who meet the definition of low income (household income <80% of AMI).

## Low Income

**51% to 80% of AMI**

<\$55,950 for an individual  
<\$79,900 for a family of 4



**795**

Low-income  
Households



**480**

Homeowners



**315**

Renters

## Very Low Income

**31% to 50% of AMI**

<\$36,550 for an individual  
<\$52,150 for a family of 4



**460**

Very Low-  
income HHs



**285**

Homeowners



**175**

Renters

## Extremely Low Income

**30% or less of AMI**

<\$21,950 for an individual  
<\$31,300 for a family of 4



**435**

Extremely Low-  
income HHs



**125**

Homeowners



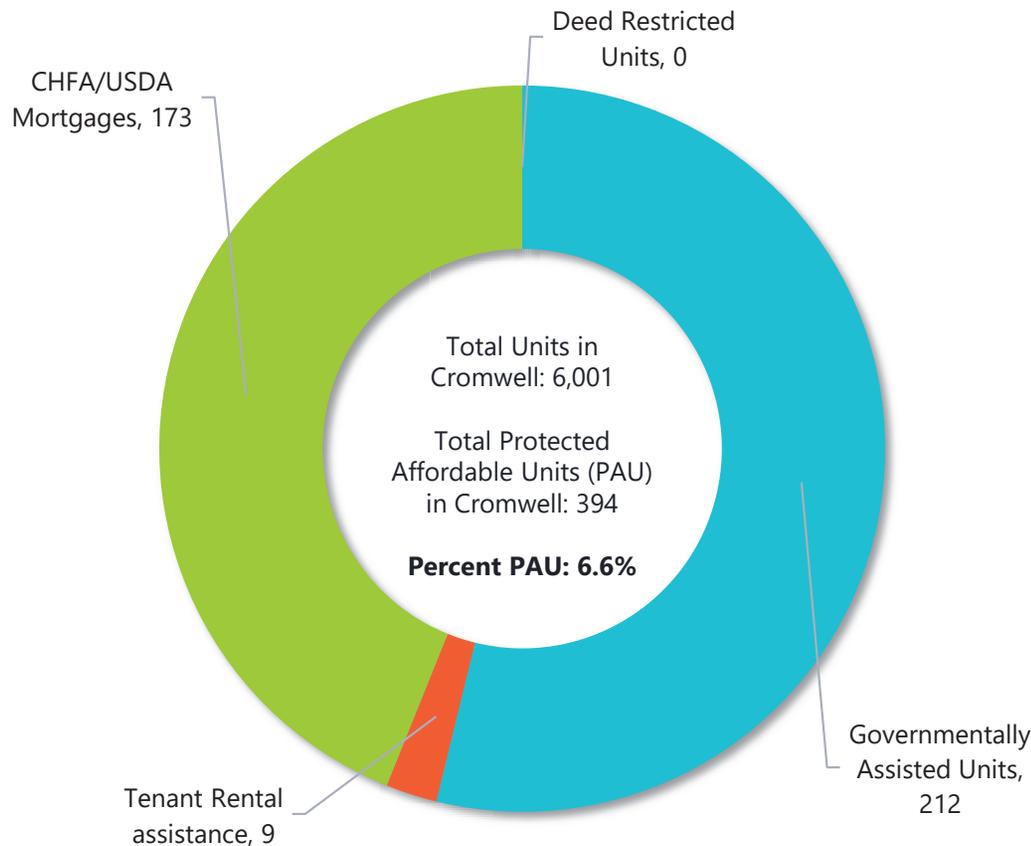
**310**

Renters

Source: U.S. Department of Housing and Urban Development (HUD) Comprehensive Housing Affordability Survey (CHAS): 2014-2018

# PROTECTED AFFORDABLE HOUSING UNITS

## Assisted Units in Cromwell's Appeals List, 2021



- State defines protected affordable housing as units that are deed restricted, governmentally assisted, receive tenant rental assistance, or have CHFA/USDA mortgages.
- Towns with less than 10% of housing units as protected affordable are subject to the provisions of CGS Section 8-30g.
- “Naturally occurring” affordable units that are not deed restricted are not included.
- Since 2002, the percentage of protected affordable units in Cromwell has decreased from 7.6% to 6.6%.
- **The number of protected affordable housing units in Cromwell in 2021 was 394 units, or 6.6% of total housing units.**

Source: Connecticut Department of Housing – Affordable Housing Appeals List: 2021  
CHFA – Connecticut Housing Finance Authority  
USDA – United States Department of Agriculture

# HOUSING TAKEAWAYS

- Cromwell has a relatively diverse housing stock, compared to the Region with 25% being multi-family units.
- Net new housing permit activity has averaged about 23 per year since 2007 which is an extremely low construction rates. Several multi-family projects in expected in 2021-2023.
- Both home prices and rent prices tend to be naturally “affordable” but prices have risen in recent years and the average median sales price for a single-family unit in 2022 hit a high of \$336,250.
- Cromwell has a homeownership rate of 74%.
- Cost burden households tend to be seniors and renters.
- 28% of all Town households qualify as low income for protected affordable housing opportunities.

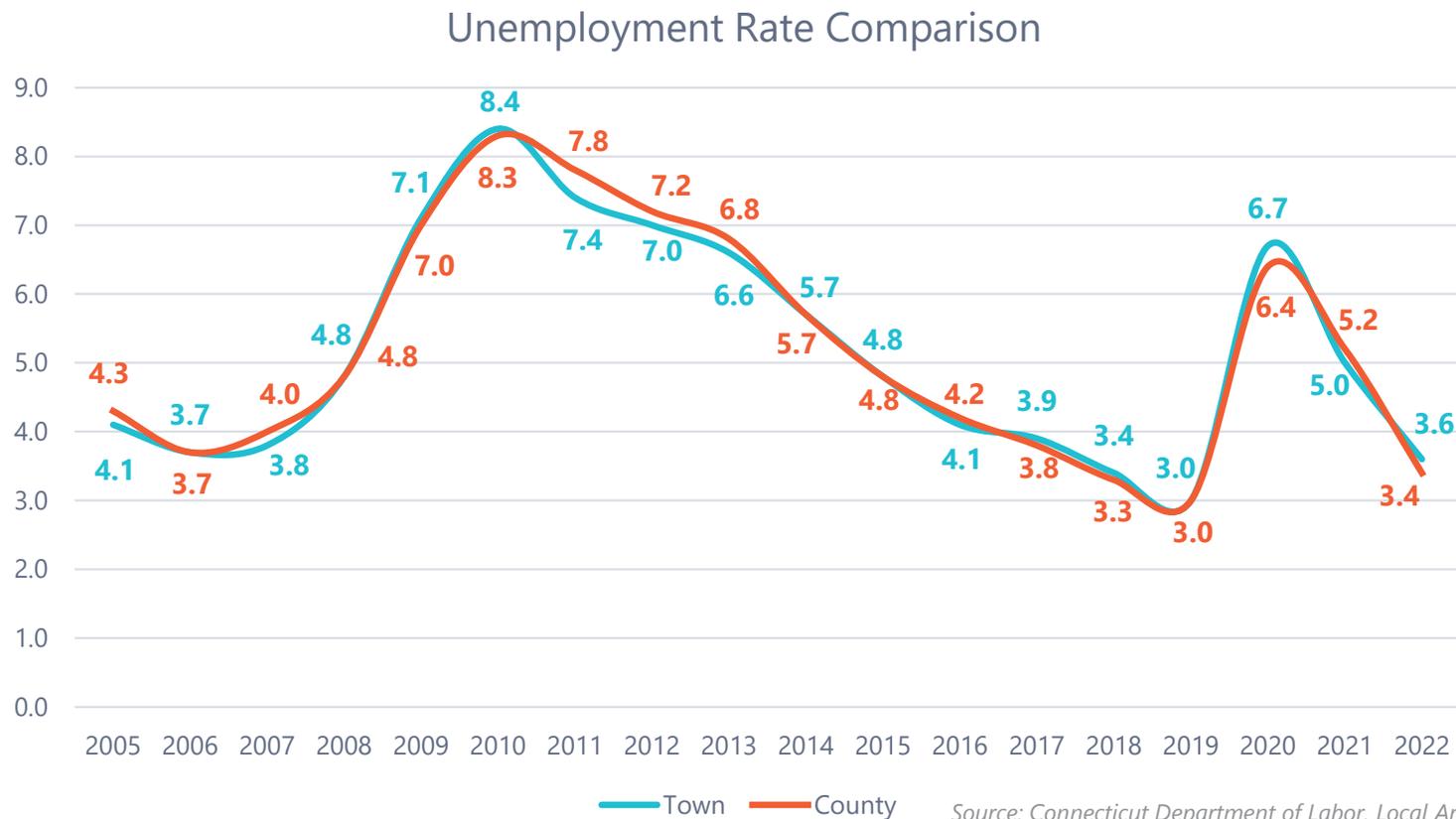


# ECONOMIC DEVELOPMENT

# COMMERCIAL AREAS

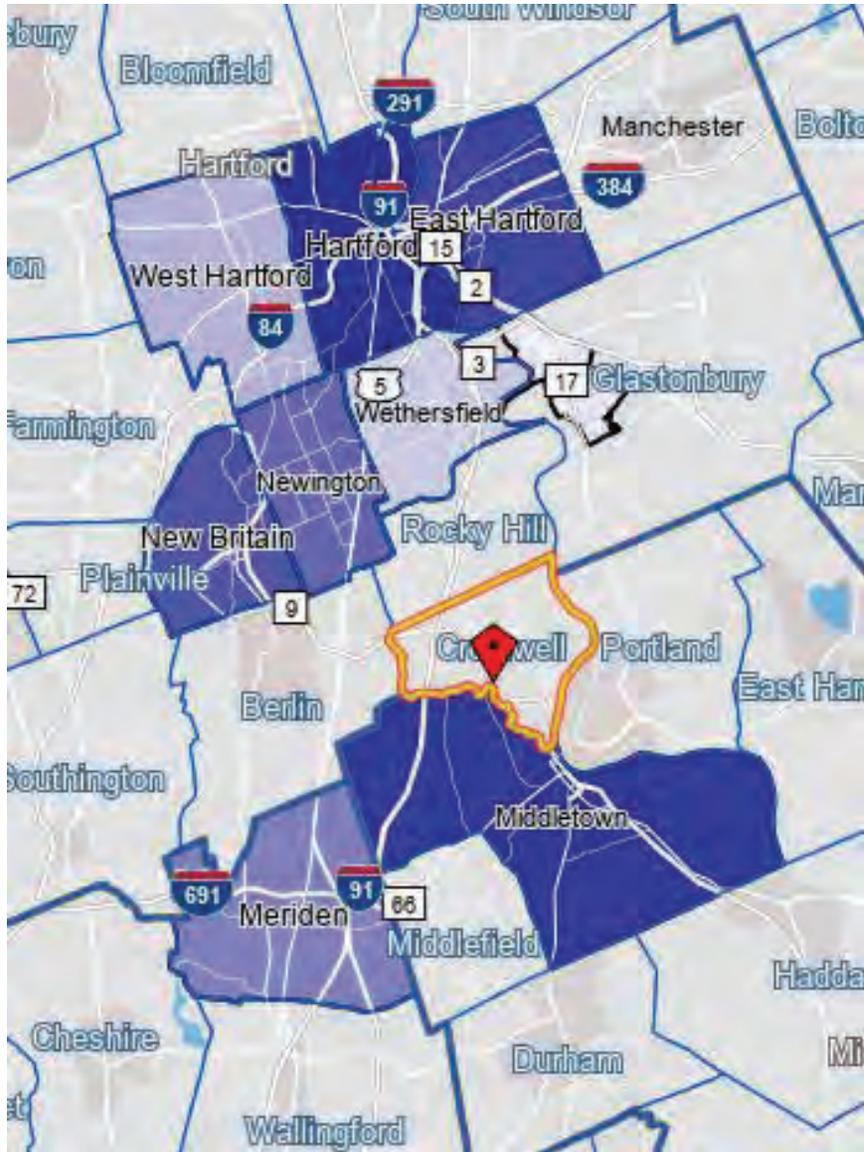
- Primary Commercial Areas within the Town are:
  - Route 3 (Shunpike) – Middletown town line to Cromwell Center
  - Route 3 (Shunpike) – Court Street to Rocky Hill town line
  - Route 372 – Route 9 to Berlin town line
  - Route 99 – Middletown town line to West Street
  - Route 99 – Evergreen Street to Rocky Hill town line

# UNEMPLOYMENT



- Unemployment rate declined significantly from 2010 peak.
  - Due to the COVID pandemic, unemployment rose to **6.7%**, and has since begun declining.
- Historically, Cromwell's unemployment rate is about the same as Middlesex County.

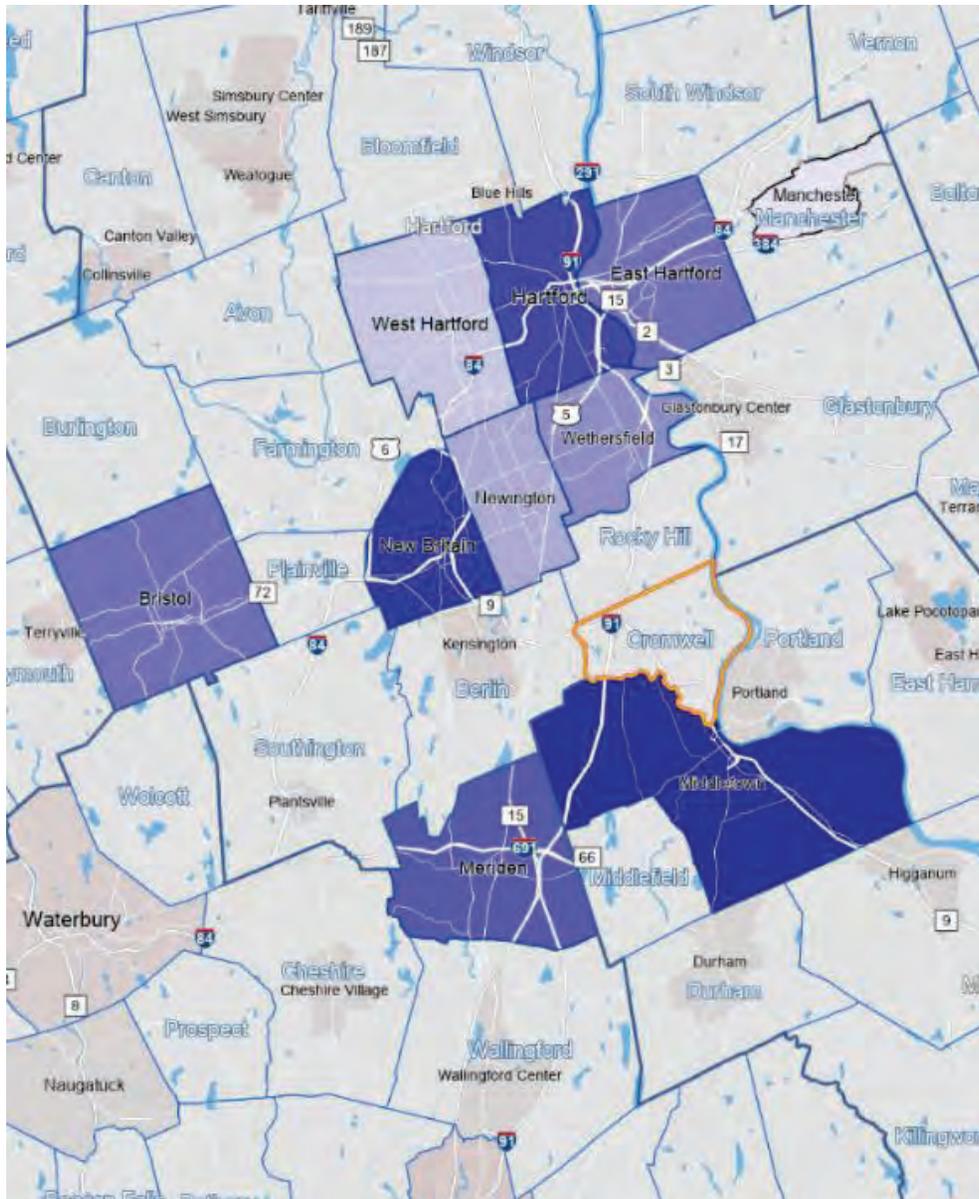
# COMMUTER TRENDS



Where do Residents of Cromwell Work? 2019		
Place	Job Count	Job Share
Hartford, CT	1,007	13.7%
Middletown, CT	637	8.6%
East Hartford, CT	262	3.6%
New Britain, CT	232	3.1%
Newington, CT	201	2.7%
Meriden, CT	200	2.7%
New Haven, CT	199	2.7%
West Hartford, CT	181	2.5%
Wethersfield, CT	126	1.7%
Glastonbury Center, CT	111	1.5%
All Other Locations	4,216	57.2%
<b>Totals</b>	<b>7,372</b>	<b>100%</b>

Source: OnTheMap, US Census

# COMMUTER TRENDS



Where do Workers in Cromwell Live? 2019		
Place	Job Count	Job Share
Middletown, CT	759	10%
New Britain, CT	418	5.5%
Hartford, CT	386	5.1%
Meriden, CT	328	4.3%
East Hartford, CT	212	2.8%
Bristol, CT	200	2.6%
Wethersfield, CT	175	2.3%
Newington, CT	172	2.3%
West Hartford, CT	152	2%
Manchester, CT	110	1.5%
All Other Locations	4,646	61.5%
<b>Totals</b>	<b>7,558</b>	<b>100%</b>

Source: OnTheMap, US Census

- Many people employed in Cromwell are from out of Town, typically from places with more affordable housing such as Hartford and Middletown.

# EMPLOYMENT BASE

Annual Average Employment	2010	2020	Change	Employment Change
<b>Total Changes - All Industries</b>	6255	6287	32	0.5%
<b>Select Industries</b>				
Construction	450	508	58	12.9%
Manufacturing	399	480	81	20.3%
Wholesale Trade	380	344	-36	-9.5%
Retail Trade	1,112	1,001	-111	-10.0%
Transportation & Warehousing	70	59	-11	-15.7%
Finance & Insurance	71	89	18	25.4%
Real Estate and Rental & Leasing	39	30	-9	-23.1%
Professional, Scientific, & Technical Services	157	278	121	77.1%
Admin. & Support & Waste Mgmt. & Remed. Services	159	476	317	199.4%
Arts, Entertainment, & Recreation	180	126	-54	-30.0%
Health Care & Social Assistance	1,538	1,322	-216	-14.0%
Accommodation & Food Services	843	680	-163	-19.3%
Other Services (except Public Administration)	281	297	16	5.7%
Total Government***	576	597	21	3.6%
<i>Federal Government</i>	24	22	-2	-8.3%
<i>State Government</i>	10	12	2	20.0%
<i>Local Government</i>	542	563	21	3.9%

Source: CT Department of Labor Quarterly Census of Employment and Wages

-Sum totals may not equal totals due to data redactions for small sectors.

\*\*\*Only Total Government values added into All Industries Total

- Overall, Cromwell gained 32 jobs (0.5% increase) between 2010 and 2020.
- Largest sectors are in Health Care & Social Assistance and Retail Trade. These sectors also saw the largest total losses in the last 10 years.

# PRINCIPAL EMPLOYERS

Employer	Full Time Employees	Part Time Employees	Rank	Total Town Employment
Adelbrook Behavioral & Development	432	164	1	9.48%
Stop & Shop	90	260	2	5.57%
Wal-Mart	183	107	3	4.61%
Covenant Village	143	94	4	3.77%
GKN Aerospace	204	3	5	3.29%
Tournament Players Club	88*	84*	6	2.74%
Shop Rite	55	100	7	2.47%
Cromwell Growers	138	2	8	2.23%
Lowe's	64	69	9	2.12%
Autumn Lake Healthcare	84	17	10	1.61%
<b>Total</b>	<b>1,481</b>	<b>900</b>		<b>37.87%</b>

\* Includes seasonal and part-time employees

Source: Town of Cromwell

- Adelbrook Behavioral & Development is the top employer in Cromwell with 596 employees.
- Principal employers are providing healthcare, goods, and services to residents. Many of the retail employers include a significant number of part-time employees.
- Top 5 principal employers in 2017 that are no longer on the list in 2021 includes the Radisson Hotel, Apple Rehab, and Apria Healthcare.

# PRINCIPAL TAXPAYERS

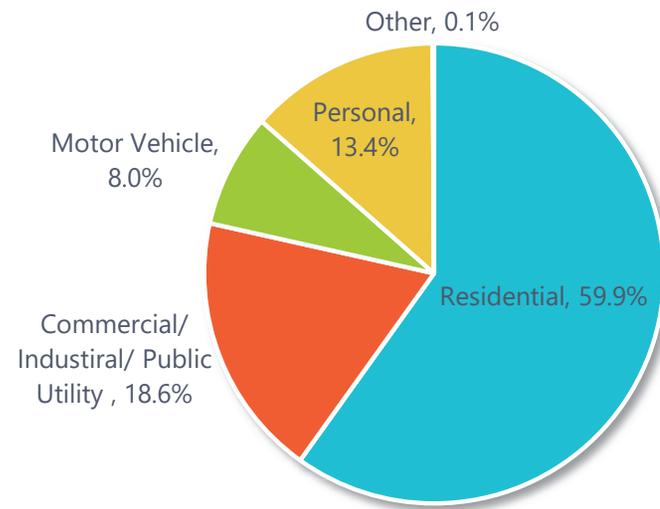
Taxpayer	Taxable Assessed Value	Rank	Total Town Taxable Assessed Value (Grand List)
Algonquin Gas Trans Co. 250 Shunpike Road	\$77,937,760	1	5.18%
Covenant Home 110 West Street	\$26,824,150	2	1.78%
HBN-CSC LLC Shop Rite Shopping Center – 51 Shunpike Road	\$16,842,210	3	1.12%
Cromwell Realty LLC Cromwell Growers – 381 Main Street	\$15,464,678	4	1.03%
Connecticut Light and Power 674 Main Street / various other parcels around Town	\$13,701,220	5	0.91%
TNO Cromwell LLC Crossroads of Cromwell Shopping Center – 136 Berlin Road	\$11,027,590	6	0.73%
Tournament Players Club 100 Golf Club Road	\$9,251,200	7	0.61%
Infinitely Cromwell Property Limited Walmart – 161 Berlin Road	\$8,958,740	8	0.60%
Main Street Equity LLC Lowe's at 90 Berlin Road	\$8,518,300	9	0.57%
R A Cromwell LLC Stop and Shop Shopping Center – 195 West Street	\$8,050,000	10	N/A
<b>Total of Top 10</b>			<b>12.53%</b>

Source: Town of Cromwell Annual Comprehensive Financial Report June 2021

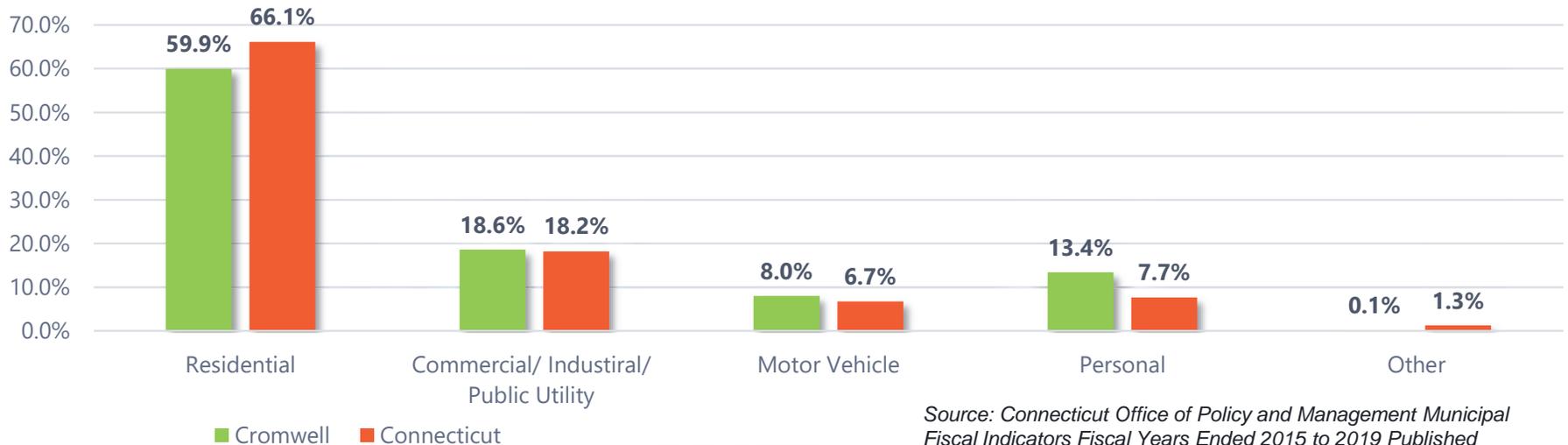
# TAX BASE

- Town's Grand List is less reliant on residential properties (59.9% of tax base) compared to State average (66.1%).

Cromwell Grand List Composition (GLY 2019)

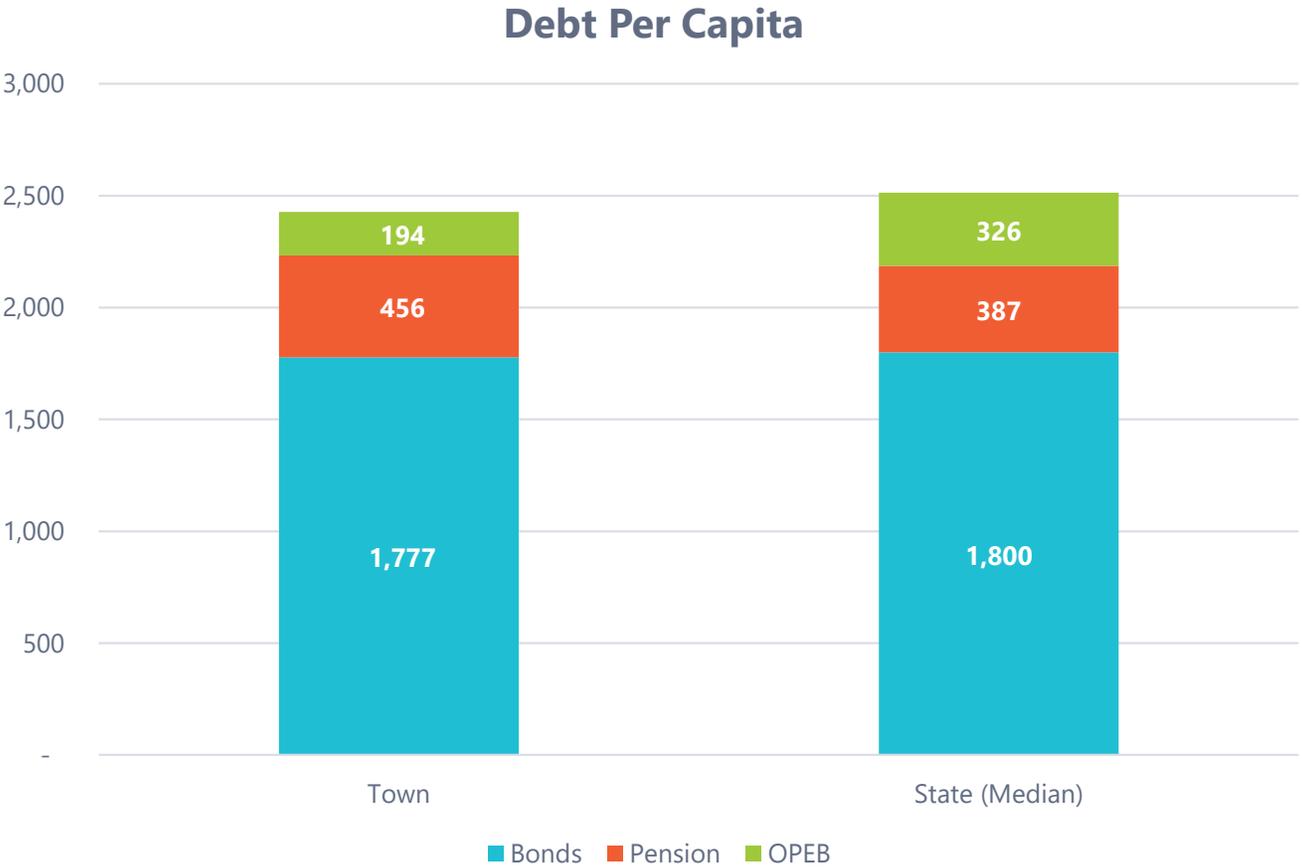


Comparison of Grand List Components as Percentages of the Total Grand Lists, 2019



Source: Connecticut Office of Policy and Management Municipal Fiscal Indicators Fiscal Years Ended 2015 to 2019 Published January 2021

# MUNICIPAL FISCAL INDICATORS



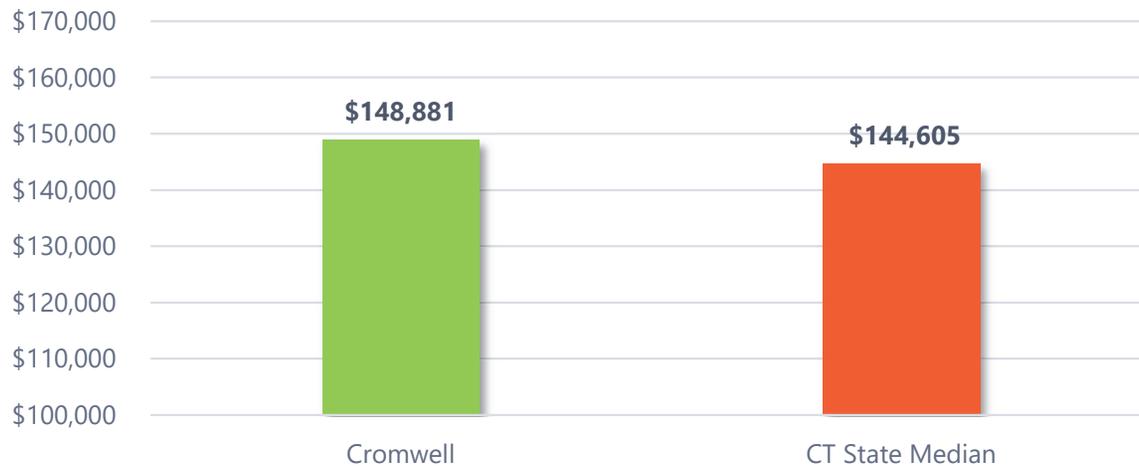
Source: Connecticut Office of Policy and Management Municipal Fiscal Indicators Fiscal Years Ended 2015 to 2019  
Published January 2021

- Cromwell's debt per capita of \$2,427 is about 3.4% less than the State median.



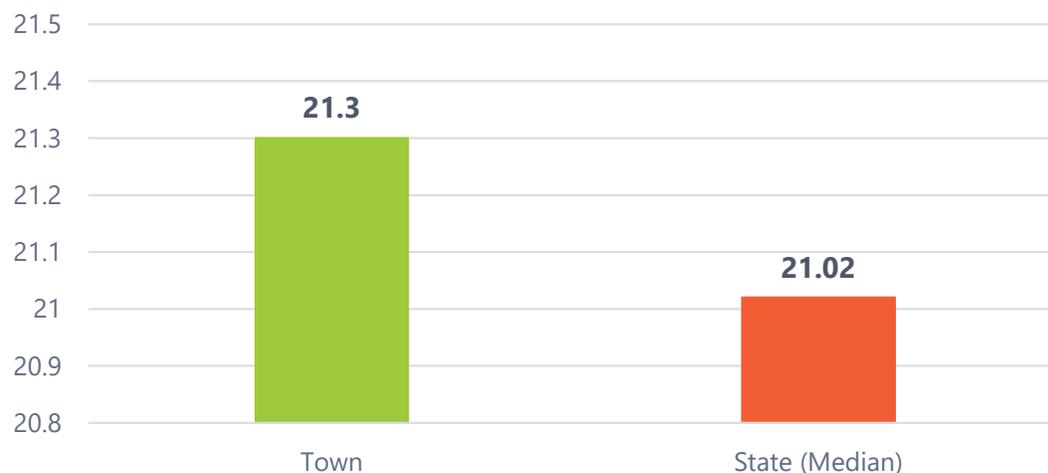
# MUNICIPAL FISCAL INDICATORS

## Equalized Net Grand List per Capita Comparison, FYE 2019



- Cromwell ranked 78<sup>th</sup> out of 169 municipalities in Equalized Net Grand List Per Capita – about 3.0% higher than state median.
- Equalized mill rate is about 1.3% higher than the state median.

## Equalized Mill Rate Comparison



Source: Connecticut Office of Policy and Management  
Municipal Fiscal Indicators Fiscal Years Ended 2015 to 2019  
Published January 2021

# REGIONAL ECONOMIC DEVELOPMENT

- RiverCOG Comprehensive Economic Development Strategy
  - RiverCOG is currently in the process of creating a Comprehensive Economic Development Strategy Plan that builds capacity for economic growth, resiliency and prosperity in a region.
  - Once adopted, a federally recognized CEDS will make the region eligible for federal funding to support Comprehensive Economic Development Strategies (CEDS).
  - Goal is to have project completed by July 31, 2023.

# ECONOMIC DEVELOPMENT TAKEAWAYS

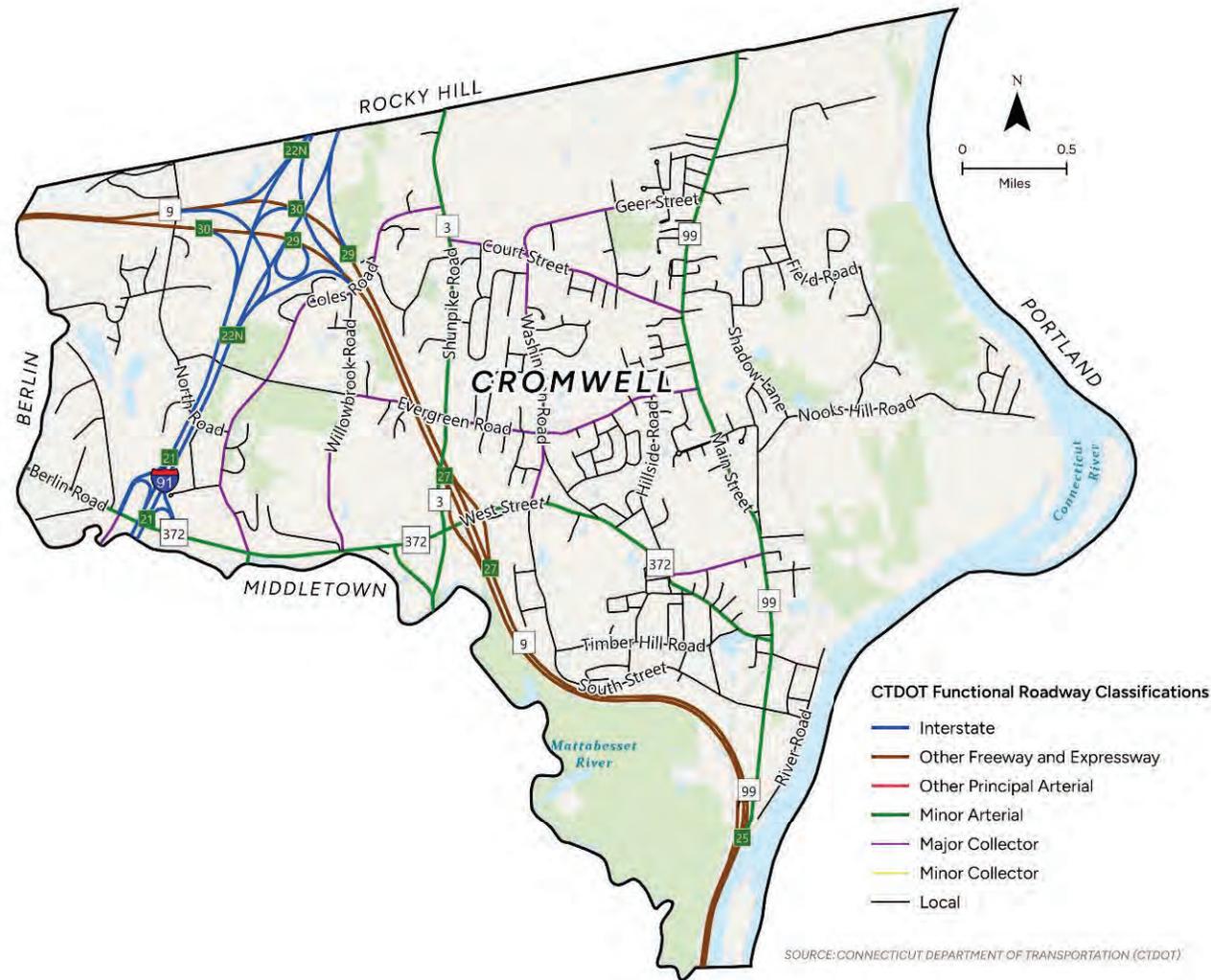
- Cromwell's unemployment rate is similar to the County's and is improving since pandemic peak in 2020.
- Many Cromwell workers commute from outside of town
- Largest employment sectors are in Health Care & Social Assistance and Retail Trade.
- The Town is largely reliant on its residential property tax base.
- The Town's debt per capita of \$2,233 is about 46.4% less than the State average.



# TRANSPORTATION

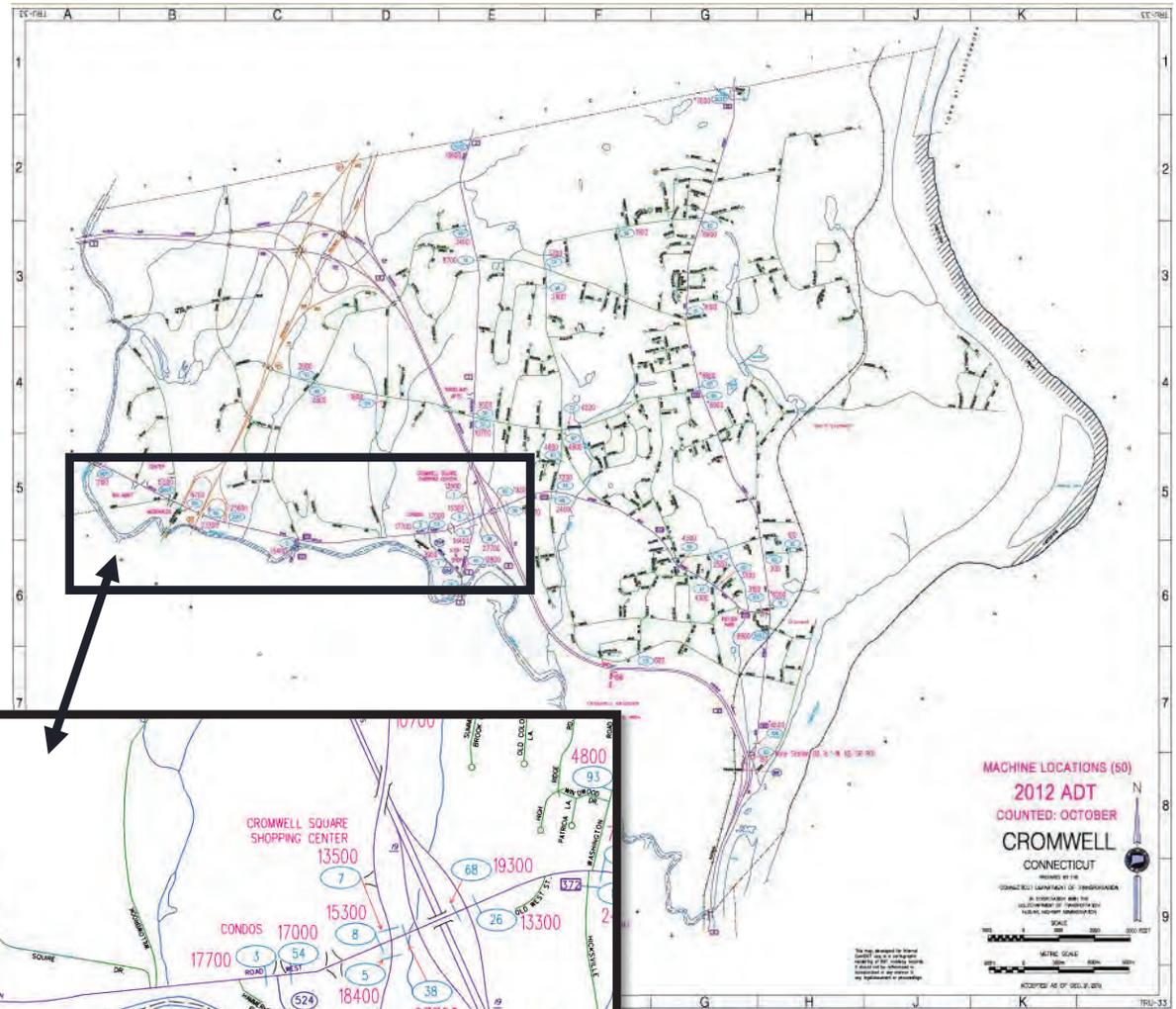
# FUNCTIONAL CLASSIFICATION

- Functional Classification is a roadway hierarchy that determines eligibility for state and federal transportation funds.
- Roads classified as collectors and arterials are eligible for state and federal funding programs, including:
  - Surface Transportation Block Grant (STBG)
  - Local Transportation Capital Improvement Program (LOTICIP)



# TRAFFIC VOLUMES

- Route 372, near Cromwell Square, has the highest traffic volumes ranging from ~17,000 to 27,700 vehicles per day (vpd).
- Other heavily used corridors include the I91-N on/off ramps on Route 372 with ~23,000 to 23,600 vpd.
- Generally, traffic volumes are much lower off main roads.



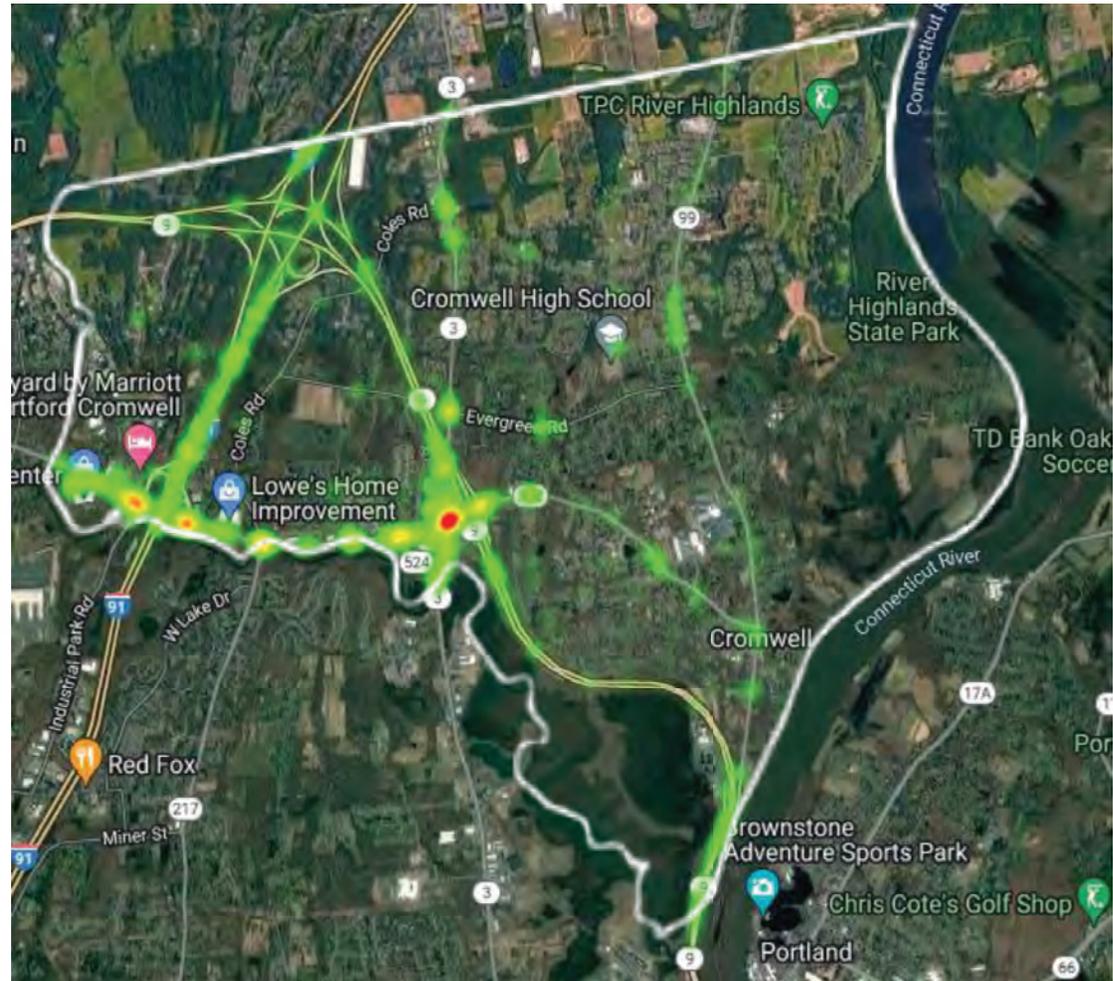
MACHINE LOCATIONS (50)  
 2012 ADT  
 COUNTED: OCTOBER  
 CROMWELL  
 CONNECTICUT  
 PROVIDED BY: [unreadable]  
 CONNECTICUT DEPARTMENT OF TRANSPORTATION  
 IN COOPERATION WITH THE  
 CONNECTICUT DEPARTMENT OF CONSUMER SERVICES  
 LOCAL HIGHWAY ADMINISTRATION

Source: CT DOT



# TRAFFIC SAFETY

- CTDOT is responsible for improvements on state roadways.
- Crash Hot Spots are primarily along Route 372 with the highest density of crashes occurring around the Shops at Cromwell Square
- From 2018 – 2022 there were a total of 2,542 crashes in Cromwell which included:
  - 8 Fatalities & 583 Injuries



# WALKABILITY AND BIKEABILITY

Walk Score

39

- The Walk Score for Cromwell is 39, since it is a car-dependent neighborhood and most errands require a car.
- The Walk Score is based on the distance to amenities nearby, population density, road metrics, and other data.

Bike Score

34

- Bike Score is a method of measuring a community's bikeability based on bike lanes, landscape, road connectivity, amenities, and percent of people who bike to work. Scored out of 100, the higher the score, the more bike-friendly a community is considered.
- The Cromwell Bike Score (34) is much less than the national average Bike Score of 67.
- There is minimal bike infrastructure in the Town.

# PUBLIC TRANSPORTATION

## ■ **Bus Services**

- CT Transit - Hartford Division
  - Route 55 "Middletown/Hartford" runs along Main Street
- Middletown Area Transit
  - Route 585 (Westlake Dr) runs a loop from Middletown to Cromwell along Route 9 and Berlin Road
  - Route 590 runs a similar route to 585 on Saturdays only
  - Route 584 (Newfield St) extends into Cromwell along Shunpike Road to serve multiple shopping plazas

## ■ **Rail Services**

- The Amtrak Northeast-Regional Route runs through CT, with the closest station to Cromwell located in Berlin.

# REGIONAL TRANSPORTATION GOALS

## 2019-2045

- The Metropolitan Transportation Plan (MTP) for the Lower Connecticut River Valley (LCRV) region defines the region's future transportation vision and outlines regional funding priorities.
- The MTP also establishes goals, policies, and steps to help achieve that vision.
- Recently funded projects include:
  - North Road Bridge 05939 replacement
  - Coles Road Reconstruction/improvements

## LONG RANGE TRANSPORTATION PLAN

- 2019 Plan identifies how the Region will manage the transportation system through the region's goals, by 2045.
- Regional goals include:
  - Provide a strategy for capital and planning resources for both motorized and non-motorized transportation modes and infrastructure improvements;
  - Ensure that people and goods move effectively, efficiently, and safely throughout the region while addressing social, economic and environmental needs;
  - Address the transportation issues in the region through both specific and general recommendations;
  - Provide an overall view of the regional transportation system to place these recommendations in perspective.

Source: RiverCOG MTP 2019

# REGIONAL TRANSPORTATION GOALS

2019-2045

## CROMWELL LONG RANGE GOALS

- 2019 Plan identifies how the Region will manage transportation system the region's goals, by 2045.
- Cromwell's goals include:
  - Road bridge improvements on Coles Rd, Evergreen Rd, Willowbrook Rd, Court St, Geer St, Industrial Park Rd, New Ln and Washington Rd, RT 3, RT 99, RT 372, RT 524, RT 901
  - Evaluate the need to reconfigure or construct a new ramp in the vicinity of RT9/RT372 due to growing safety and congestion concerns
  - Coles Rd phase II and III reconstruction from Christian Hill Rd to Evergreen Rd, and Evergreen Rd to RT 3 with bicycle and pedestrian provisions
  - RT 99 intersection improvements and signal replacement at Main St and intersection improvements at Court St
  - West St intersection improvements at Franklin Ave
  - Implement Safe Routes to School Plan – sidewalks on Court St, Geer St and Main St north to Sunset Dr Intersection improvements to Route 372 at intersection with Country Squire Dr and Willowbrook Rd – add dedicated turning lane eastbound 372
  - Develop pedestrian walking routes or trails along the CT River
  - Develop boat access (docks, possible Town marina) within Town owned parcels on CT River

Source: RiverCOG MTP 2019

# TRANSPORTATION & CIRCULATION TAKEAWAYS

- Cromwell has multiple State roadways and interstates that are maintained by the State and/or eligible for Federal funding & grants.
- Highest traffic volumes are on Route 372, near Cromwell Square and near I-91 and the on and off ramps to I-91.
- Crash hot spots include Route 372 (Berlin Rd./West St.) from Agawam Dr. to Route 3 (Shunpike Rd.); and Route 3 (Shunpike Rd.) from Route 372 (Berlin Rd.) to the southern Town line.
- The Town is served by CT Transit (limited) and Middletown Area Transit.
- Pedestrian and bicycle facilities and infrastructure are minimum.



**COMMUNITY FACILITIES  
& INFRASTRUCTURE**

# COMMUNITY FACILITIES

## Publicly-Owned

- Town Hall (Social Services Department, Public Works, Youth Services Bureau, Senior Center)
  - 41 West St.
- Belden Public Library
  - 39 West St.
- Police Headquarters and Cromwell Animal Control
  - 5 West St.
- Fire Department
  - Headquarters
    - 82 Court St.
  - West Street Station
    - 1 West St.
  - Coles Road Station
    - 105 Coles Rd.
- Cromwell Transfer Station
  - 100 County Line Dr.
- U.S. Post Office
  - 528 Main St. #51

- Public Schools
  - Cromwell High
    - 34 Evergreen Rd.
  - Cromwell Middle\*
    - 6 Mann Memorial Dr.
  - Woodside Intermediate
    - 30 Woodside Rd.
  - Edna C. Stevens Elementary
    - 25 Court St.



# INFRASTRUCTURE (WATER, SEWER, STORMWATER)

## Public Sewer

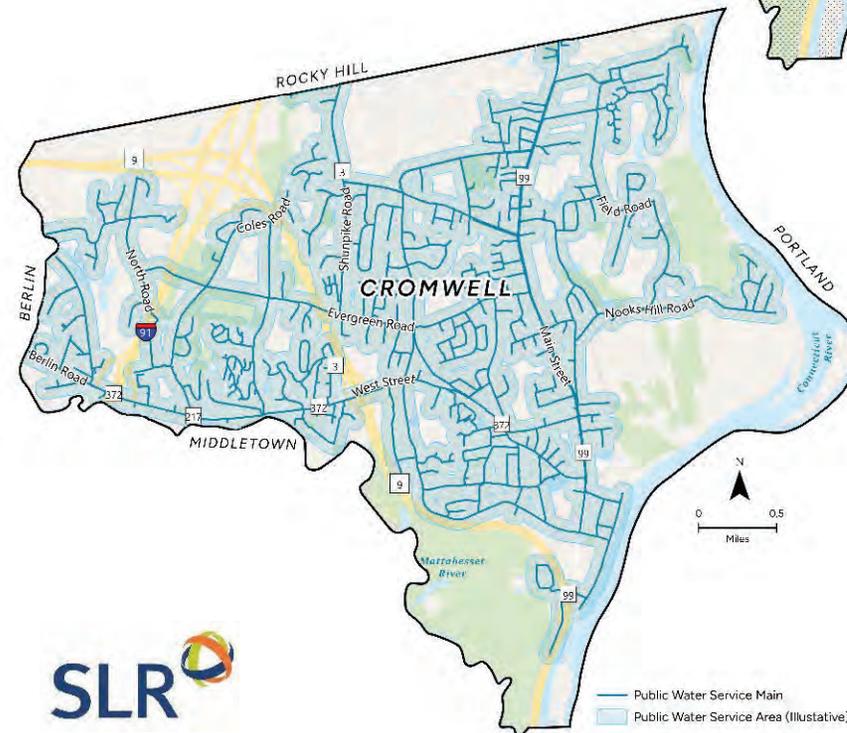
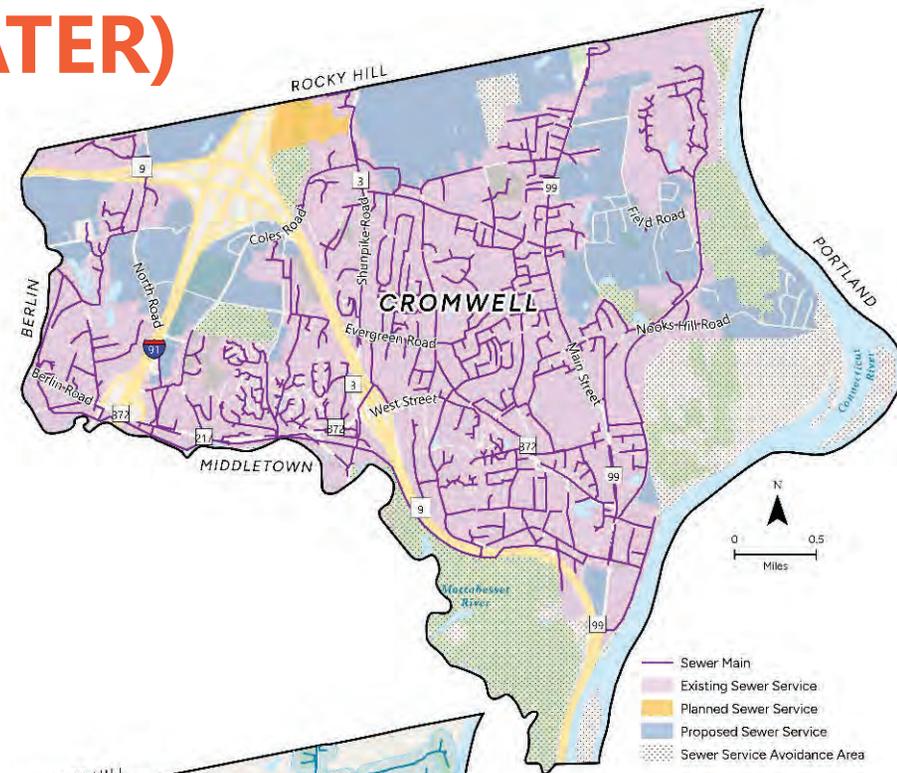
- The Cromwell Water Pollution Control Authority operates the sewer system.
- Approximately 75% of the Town has public sewers and the remainder use private septic tanks.

## Public Water

- The Water District operates 4 wells and 99% of the Town is on public water.
- The District is expected to be able to meet present and future water supply demands through 2050.

## Stormwater

- The stormwater management system is separate from the sanitary sewer system and maintained by the DPW.
- New development is required to use onsite detention, depending on acres of disturbance and impervious area.



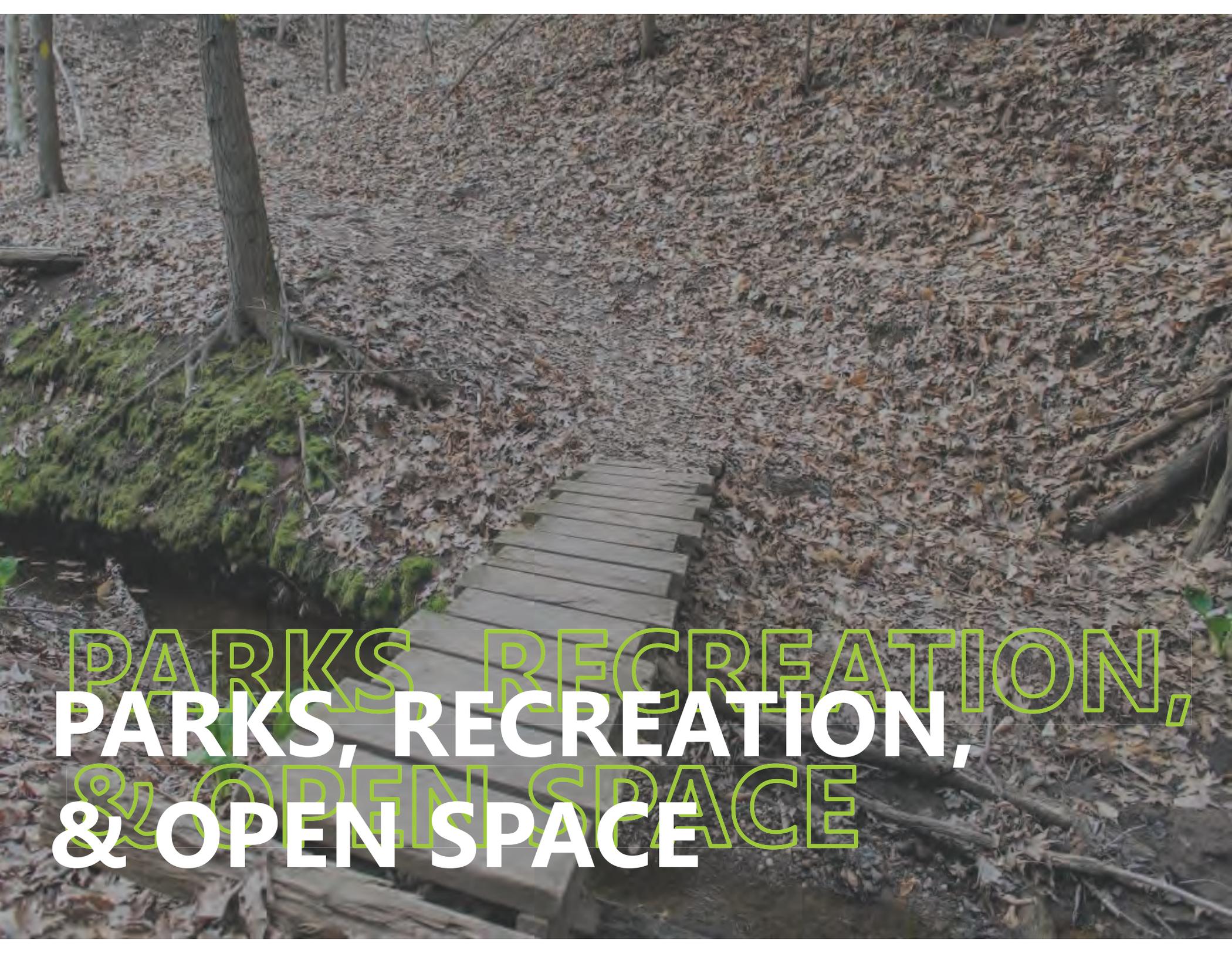
# INFRASTRUCTURE PROJECTS

## Projects

- Current/Ongoing
  - West Street Sidewalk Connectivity –Covenant Village to Main Street including Allen Place reconfiguration
  - Drainage Study - Various locations throughout Town
  
- Proposed
  - New Middle School to begin construction in FY23
  - Various park & field renovations, including:
    - A recreation pond at Evergreen Park
    - Multipurpose field and new track at High School
    - Renew existing football field adjacent to Pierson Park
  - Continued implementation of pavement management plan

# COMMUNITY FACILITIES & INFRASTRUCTURE TAKEAWAYS

- There are four public schools in the Cromwell School District, which educate approximately 90% of the total student population.
- Most of the Town is serviced by public sewer and water, with the remaining on private septic.
- Both the public sewer and public water systems are able to meet their current and anticipated future demands.
- Cromwell has limited available land for development and there are a number of environmental constraints to development on those remaining.
- New Middle School planned to start construction in FY23.



**PARKS, RECREATION,  
& OPEN SPACE**

# RECREATIONAL FACILITIES

	Facility	Description
<b>State-Owned</b>	River Highlands State Park	Active and passive recreation activities; hiking trails, campsites, scenic viewpoints
	Cromwell Meadows State Wildlife Management Area	Mostly marsh and wetlands; Hunting, fishing, and hiking
	Connecticut River Wildlife Area	Open space; Pavilion, benches, boat launch; home to Cromwell's Farmer's Market
<b>Town-Owned</b>	Cromwell Landing	Park along the CT River; Pavilion, benches
	Riverport Park	Park overlooking CT River; Gazebo, benches
	Watrous Park	Largest active recreation facility in Cromwell; pavilion, basketball and volleyball courts, tennis courts, softball fields, walking trail
	Pierson Park	Baseball field, softball fields, football field, pavilion, playscape, rose garden
	Evergreen Hill Park	Passive recreation site; Forest and open space, trails, ponds; Cromwell's Community Gardens

- Cromwell also has various Town Greens, four of which are Valor, Memorial and Legion Greens and Patriots Corner

# OPEN SPACE

- Cromwell's 2012 Open Space Plan divides significant open space parcels into four categories:

- **Public & Restricted:** Publicly Owned with Protection from Development
- **Public & Not Restricted:** Publicly Owned but Not Explicitly Protected from Development
- **Private & Restricted:** Privately Owned with Protection from Development
- **Private & Not Restricted:** Privately Owned with No Protection from Development



Type of Open Space	Primary Use Type (Acres)			Total Acres
	Conservation	Recreation	Other	
Public, Restricted	618	114	227	<b>959</b>
Public, Not Restricted	76	28	0	<b>104<sup>1</sup></b>
Private, Restricted	73	164	11	<b>248</b>
Private, Not Restricted	396	280	294	<b>970<sup>1</sup></b>
	<b>1,163</b>	<b>586</b>	<b>532</b>	<b>2,281</b>

<sup>1</sup> This acreage is not formally protected by conservation means

- According to the plan - **1,207 acres (or 53%)** are protected by conservation easement, deed restriction, or some other type of legal document.



**CULTURAL + HISTORIC  
RESOURCES**

# TOWN HISTORY

- The North Society of Middletown, CT, wanted to be recognized as its own township - independent from Middletown.
- The Town of Cromwell, CT was incorporated on June 18, 1851, after much deliberation over its name.
- Cromwell historians believe the Town was named for Oliver Cromwell, a prominent but controversial figure in 17<sup>th</sup> Century England.
- The War of 1812 destroyed the maritime industry and by the 1830s, the area had began transitioning to small manufacturing.
- J.&E. Stevens Company became the most significant manufacturing firm in Cromwell and drove its economy
  - The company's financial success led to much of Cromwell's Main Street architecture as its wealthiest members built modern, iconic homes.

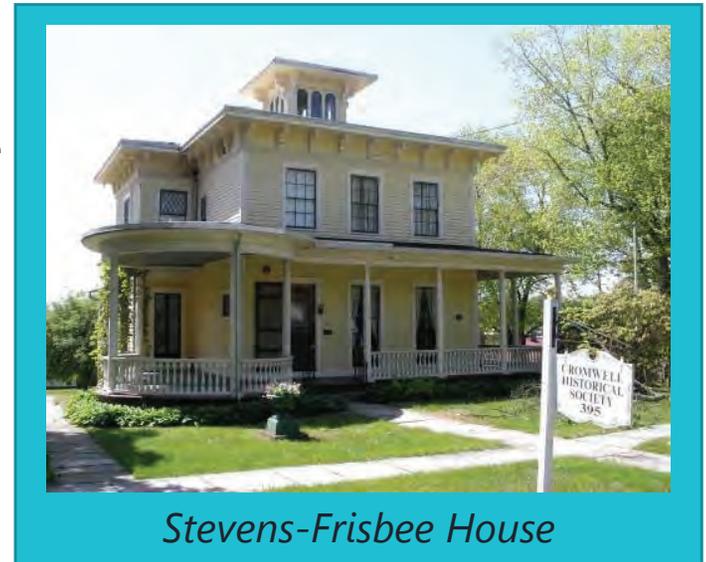
# HISTORIC RESOURCES

## National Register of Historic Places (Year Listed)

- Middletown Upper Houses Historic District (1979)
  - Small, isolated residential area, made up of 5 streets, located on the banks of the Connecticut River
    - River Road, Pleasant Street, Wall Street, School Street, and South Street
  - Served as the Center of 18<sup>th</sup> Century Cromwell
  - Buildings date from 1750 to 1810
- Sage-Kirby House (1982)
  - Located at 93 Shunpike Rd and built between 1811-1815
  - One of four remaining brick Federal-style residences in town
- Main Street Historic District (1985)
  - Includes Main Street, Route 99, New Lane, Prospect Hill Road, Prospect Place, and Stevens Lane
  - Buildings date from 1750 to 1933 and show a range of architectural styles
  - Home of the Stevens-Frisbie House (1854)
    - Italianate-style Architecture
    - Cromwell's Museum of Town History

## Other Historic Buildings

- The Ebenezer W. Beckwith Octagon House (1854) is one of the few "octagon houses" in CT and is located on Prospect Hill Road

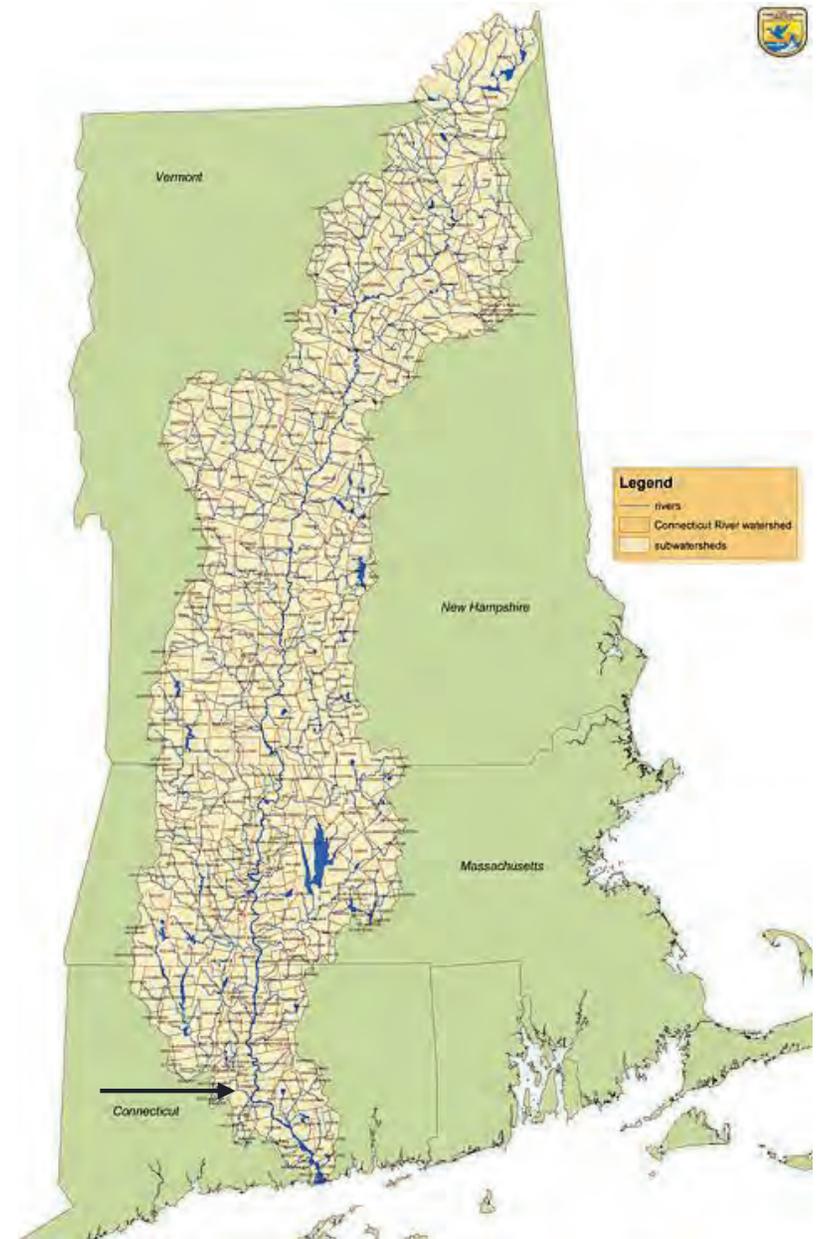




# NATURAL RESOURCES

# CONNECTICUT RIVER

- The Connecticut River watershed drains 11,000 sq. mi. through five states.
- Cromwell is accessible by boat from the Long Island Sound, navigability is limited to Hartford.
- The river is a major provider of hydroelectric power; dams along the river (MA-VT/NH) disrupt natural hydrology and impede wildlife movement and migration.
- The CT River is an important wildlife habitat, it is home to many threatened and endangered species.
- Water quality, although greatly improved in modern times, is of concern for environmental and recreational purposes.

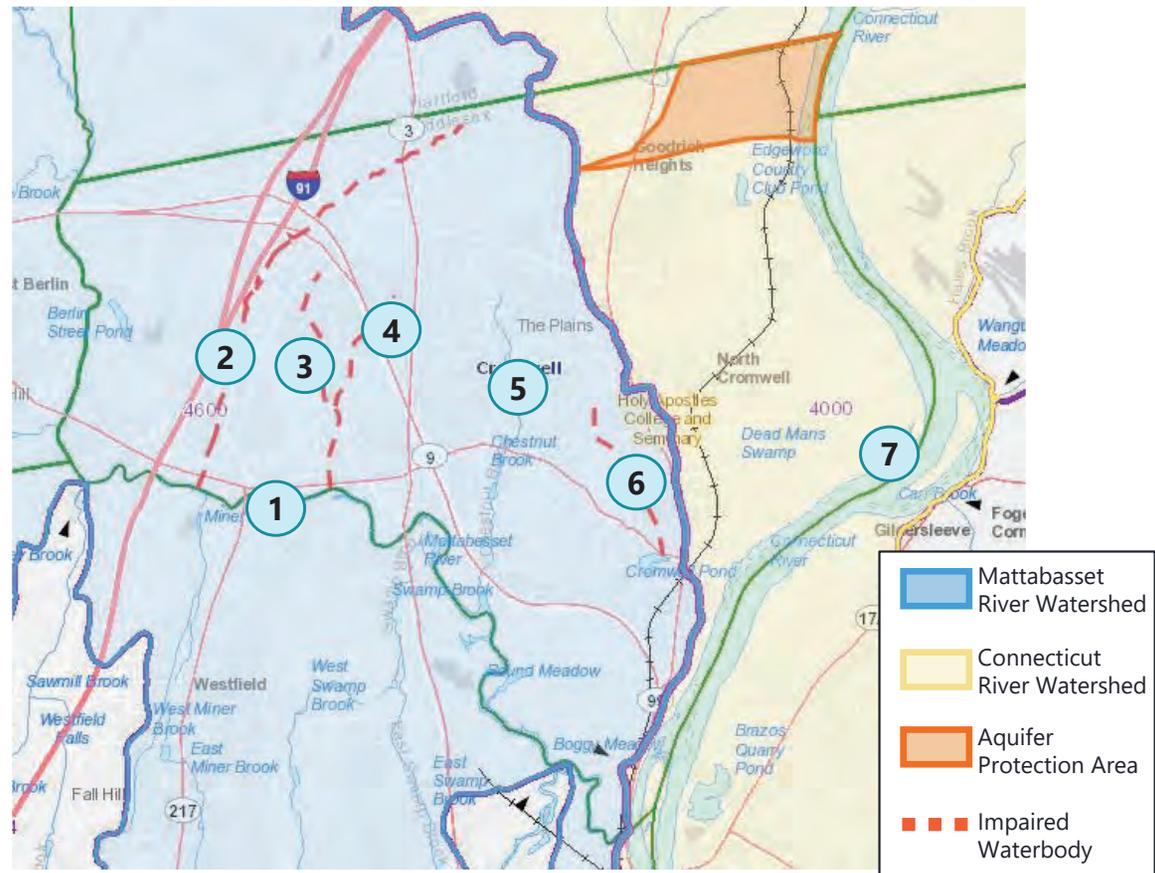


Source: Connecticut River Conservancy

# WATER RESOURCES

- Cromwell lies within the Connecticut River Watershed.
  - Subregional watershed basins: **Mattabasset** and **Connecticut River**.

- Cromwell's borders are defined by the Connecticut River in the East and the Mattabasset River in the west.
- There is a significant Aquifer Protection Area in the northeast which represents the land area contributing to the public water supply.
- Waterbodies are assessed for the following uses: support of aquatic life, recreation, fish consumption, and drinking water. If a waterbody does **not** support any one of these uses, it is listed as **impaired**.
- The Mattabasset River (1), Coles Brook (2), Willow Brook (3), East Willow Brook (4), Chestnut Brook (5), one unnamed tributary to the CT River (6), and the Connecticut River (7) are assessed for water quality.

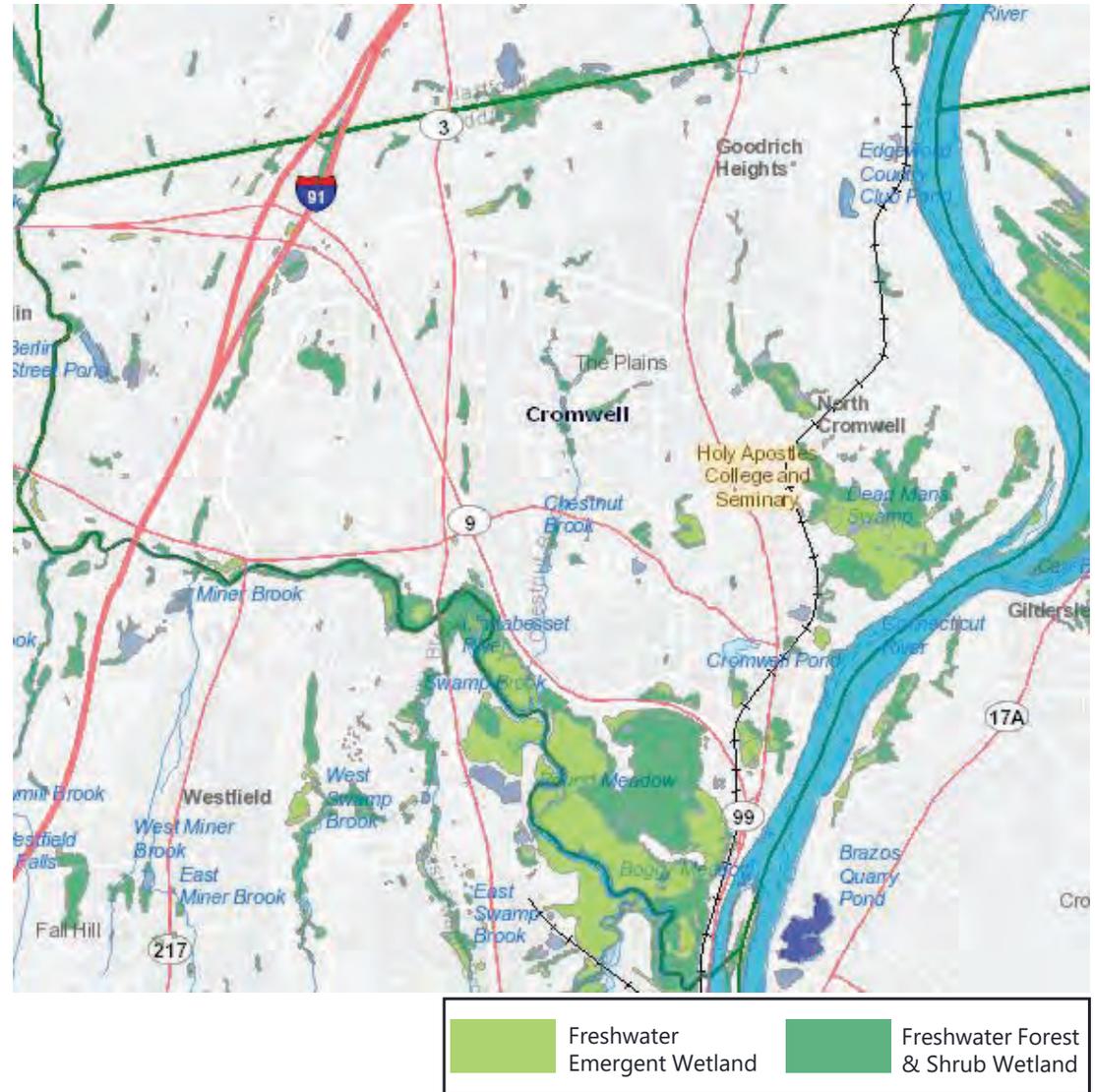


Source: CTECO

- All of the above, except for Chestnut Brook, are classified as impaired as of 2020

# WETLANDS

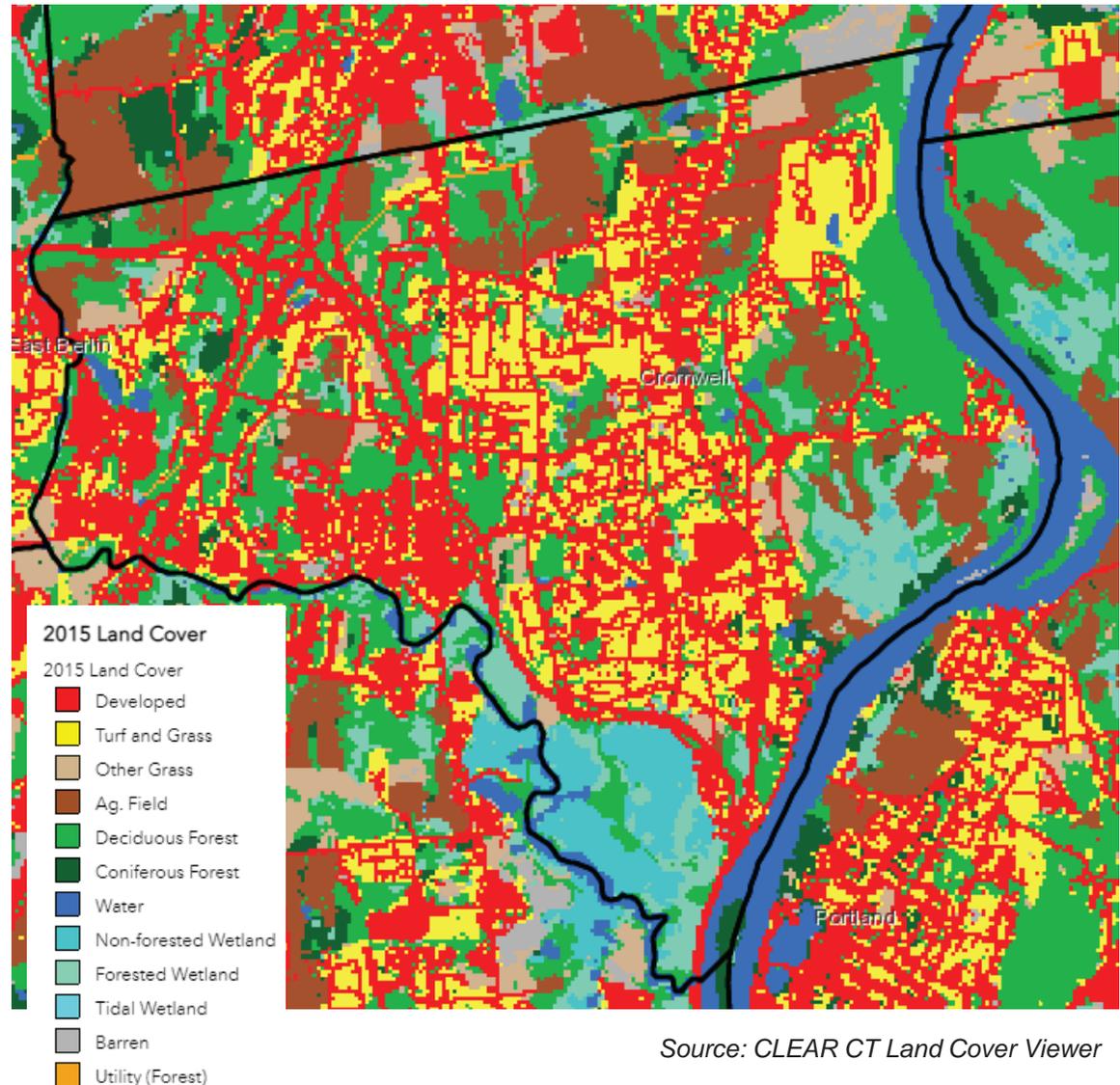
- Cromwell is home to many wetlands with two major wetland ecosystems:
  - Round and Boggy Meadows at the mouth of the Mattabasset, and Dead Mans Swamp along the CT River
- These wetlands facilitate groundwater recharge and help with streamflow regulation (EPA).
- Wetlands support biodiversity and are important for recreation.
- Pollutants from surface runoff and stormwater outfalls may threaten the quality of wetlands.



Source: CT ECO

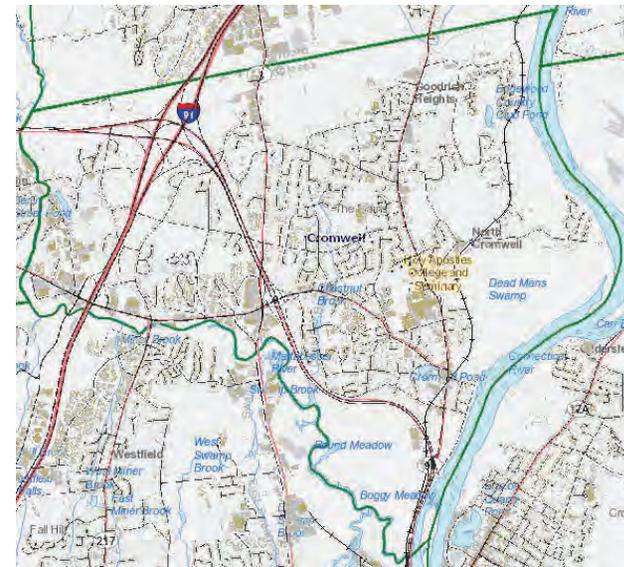
# FOREST COVER

- Forest and agricultural areas have decreased over the years. Increased development and impervious surfaces, can lead to increased issues with water quality.
- 2015 Land Cover
  - 31.4% Developed
  - 30.9% Forest areas
  - 15.3% Turf and grass
  - 9.6% Agricultural fields
- 1985 Land Cover
  - 24.7% Developed
  - 35.1% Forest areas
  - 13.5% Turf and grass
  - 13.8% Agricultural fields

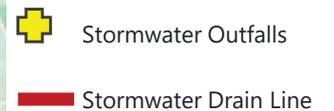
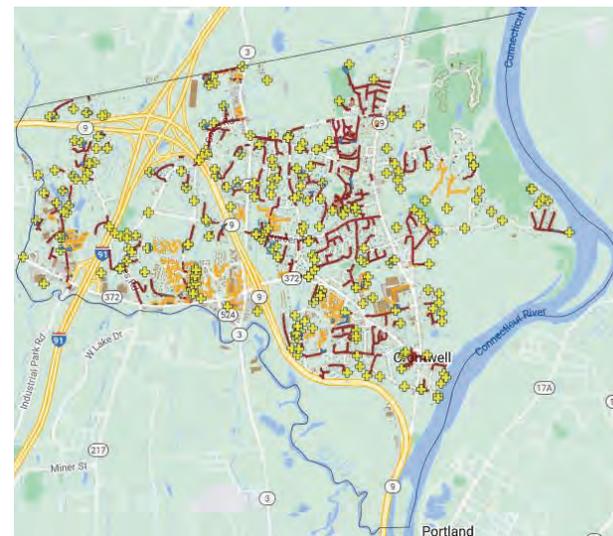
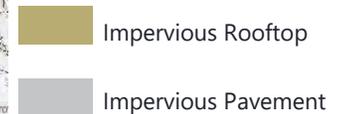


# IMPERVIOUS COVER & STORMWATER RUNOFF

- Impervious cover (roadways, sidewalks, rooftops, etc.) has replaced natural pervious surfaces, resulting in an increase in flood risk, higher rates of stormwater runoff, and higher levels of pollutants entering waterways.
- These impervious surfaces often drain into sewer systems which discharge into waterbodies.
- Many stormwater outfalls discharge directly into waterbodies, which can compromise their quality.
- Cromwell is a MS4 community and monitors its stormwater quality accordingly.



Source: CTECO



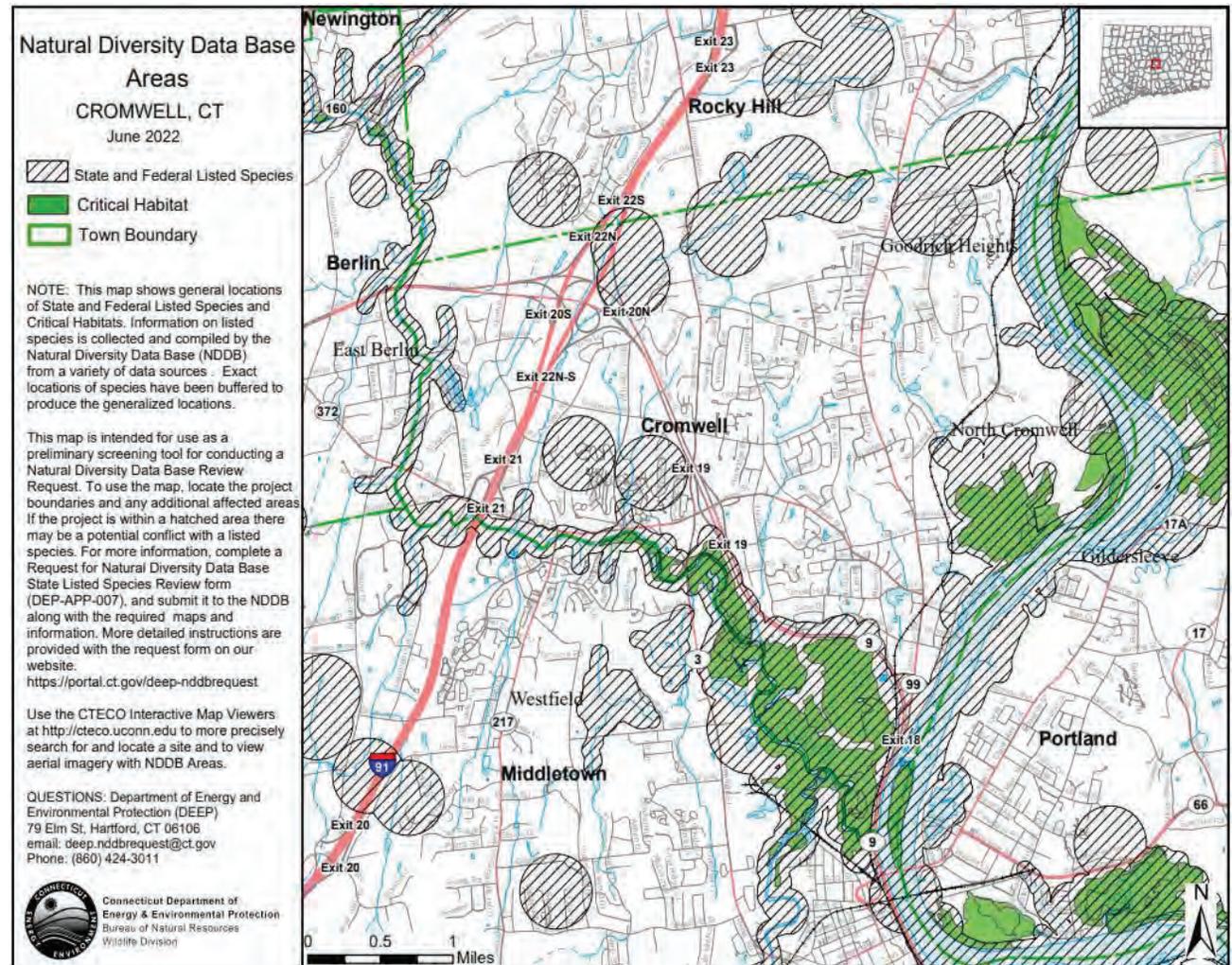
Source: Town of Cromwell

# WILDLIFE

- Cromwell Meadow State Wildlife Area is a Connecticut State Park that is 543 acres of mostly marsh, level ditching, and open upland area.

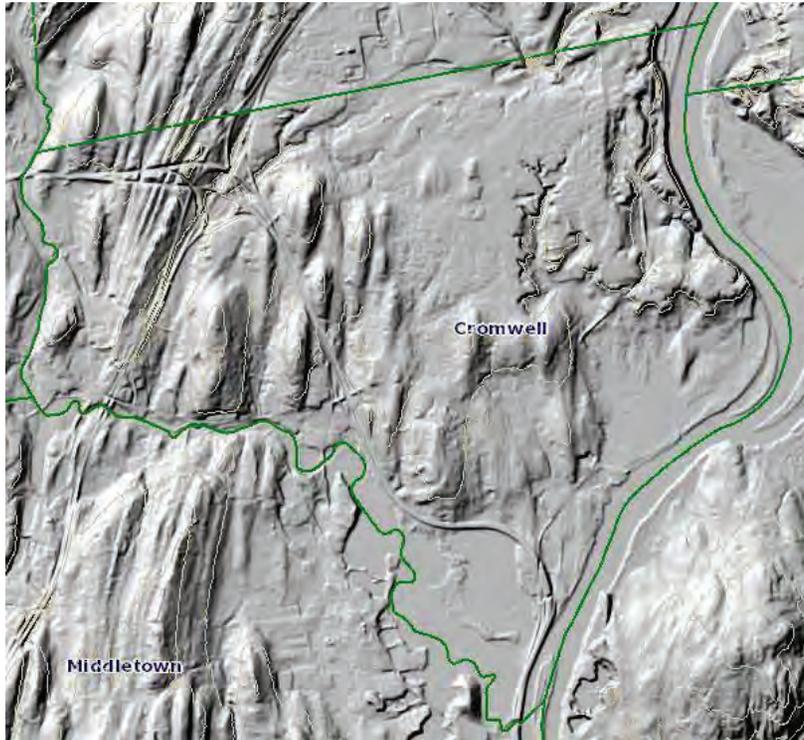
- The CT River is home to federally endangered and threatened species:

- Shortnose sturgeon
- Piping plover
- Puritan tiger beetle
- Dwarf wedge mussel
- Small whorled pogonia
- Jesup's milk-vetch
- Northeastern bulrush



Source: CT DEEP Endangered Species Map, Cromwell Diversity Data Base

# STEEP SLOPES



Source:  
CTECO

- Cromwell's topography is characterized by rolling hills and flat plains.
- Steep slopes are important natural resources as they:
  - Provide habitat, recreational opportunities, and scenic views
  - Recharge surface water
  - Improve water quality
- When disturbed, steep slopes may experience excessive erosion and lose their natural hydrologic functionality.

# NATURAL RESOURCE TAKEAWAYS

1. Cromwell lies within the subregional watershed basins of the Mattabasset and Connecticut Rivers (which is home to federally endangered species).
2. Water Quality
  - Aquifer Protection Area in the northeast covers the land area contributing to the public water supply.
  - 4/5 of assessed waterbodies identified as impaired due to poor water quality from pollutants and runoff.
3. Two major wetland ecosystems (Round and Boggy Meadows at the mouth of the Mattabasset, and Dead Mans Swamp along the CT River) support biodiversity, recharge groundwater and protect public health through improved water quality and enhanced ecosystem services.
4. From 1985 to 2015, forest cover and agricultural fields in Cromwell have decreased while developed areas and impervious surfaces have increased, leading to higher flood risks and stormwater runoff.
5. Cromwell's steep slopes provide natural habitats and improved water quality; If disturbed could experience erosion and loss of hydrological functionality.



# CLIMATE RESILIENCE + SUSTAINABILITY

# RESILIENCE

## ■ **State-Level Climate Resilience**

- State Agencies supporting climate resilience initiatives in CT
  - SAFR (State Agencies Fostering Resilience)
  - CIRCA (Connecticut Institute for Resilience and Climate Adaptation)
- Governor's Council on Climate Change (GC3)
  - Re-established in 2019, this council is tasked with two primary objectives:
    - 1) Monitor and report on state's implementation of green house gas emissions reduction strategies.
    - 2) Develop and implement adaptation strategies to assess and prepare for the impacts of climate change.
  - A guide for State efforts on climate resilience
- Executive Order 21-3
  - Issued in 2021 to direct Connecticut executive branch state agencies to take significant actions to mitigate and adapt to climate change.

## ■ **Regional-Level Climate Resilience**

- The Municipal Hazard Mitigation Plan was developed as part of the regional plan by RiverCOG.
- RiverCOG uses the annex information to guide its own regional HMP efforts that may have an impact on Cromwell and the corresponding Town efforts.

# HAZARD MITIGATION PLAN

Type of Event	Date	Preliminary Damage Assessment
Snow Event	March 2003	\$25,609.59
Snow Event	February 2005	\$56,322.71
Severe Storm - Snow	November 2011	\$321,781.74
Hurricane Event	September 2011	\$65,491.17
Hurricane Event	October 2012	\$9,907.95
Winter Weather Event	March 2013	\$116,041.69
Severe Winter Storm	April 2015	\$1,637.50
Flood Event	September 2018	Town lost 1 of 3 dams on Shadow Lane (Northern Pond Dam); Power went out at Walmart due to strong winds and fallen trees that damaged transformers across town

*Table: Presidentially declared disasters from 2005 to present that have impacted Cromwell, along with damage assessments  
Source: RiverCOG HMP Cromwell Appendix*

## Cromwell Primary Hazards of Concern

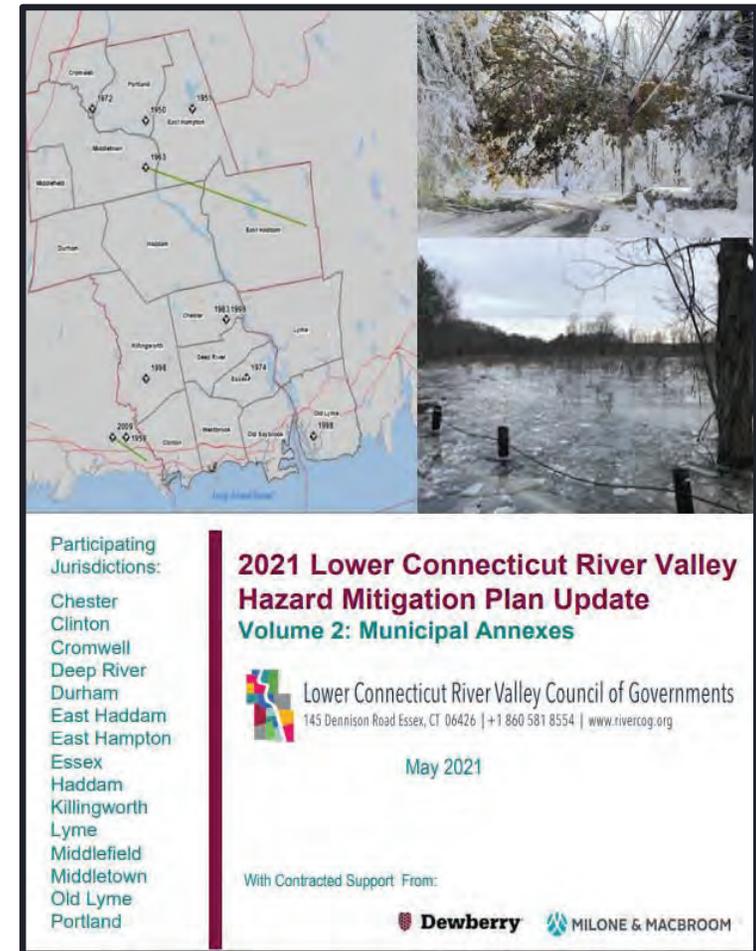
- Flooding, hurricanes, winter weather and dam breach.
- The Mattabasset and Connecticut Rivers are the primary possible sources of flooding.
- Utility infrastructure may amplify natural hazard effects.
  - Ex: downed powerlines or clogged catch basins/culverts

# HAZARD MITIGATION PLAN

## 2021 Lower Connecticut River Valley Hazard Mitigation Plan Update:

### Cromwell Goals and Objectives

- **Goal 1:** Promote implementation of sound flood management and other natural hazard mitigation principals on a regional and local level. Note: Covers future development through policy, planning, regulation, emergency services, and environmental strategies.
- **Goal 2:** Implementation of effective natural hazard mitigation projects at the regional and local level regional and local level. Note: Covers infrastructure and building related projects – the existing built environment.
- **Goal 3:** Increase research, planning and outreach activities for the mitigation of natural hazards on a regional and local level. Note: Covers the people component of mitigation via outreach and education, and integration with other planning and continuous improvement through increase research.



Source: RiverCOG  
Cromwell Annex Hazard Mitigation Plan 2021

# HAZARD MITIGATION PLAN

## Recommended Mitigation Actions

1. Maintaining Shelter Supplies
2. Reduce and Manage Debris
3. Promote Private Property Mitigation
4. Implement Mitigation Strategies
5. Mitigate Riverside Drive Bank Erosion
6. Inventory Generators at Essential Facilities
7. Dam Inundation Study
8. Support Repetitive Loss Properties
9. Replace Culverts prone to Flooding
10. Protect Historic and Cultural Resources

# HAZARD MITIGATION PLAN ACTIONS UPDATE

- HMP progress update from 5/9/2022
- Meeting between CIRCA, RiverCOG, and Town of Cromwell to comment on the status of Cromwell annex actions from adopted 2021 HMP
- Notes Town of Cromwell sites of concern

Activity #	Goal/Obj	Activity Description	Status Reported by Location Planning Team		
This is ongoing. The town hall is the					
1	1-1	<b>Maintaining Shelter Supplies</b> Maintain an inventory of cots, blankets, food supplies and other supplies for emergency shelters and provide additional supplies where necessary.	6	2-1, 3-1	<b>Inventory Generators at Essential Facilities</b> Some non-critical facilities are essential for public function during an emergency, such as grocery stores, Walmart, and gas stations. For these essential facilities, inventory which have functional generators. Encourage gas stations and grocery stores without generators to identify funding for them and provide technical assistance. (new) Many private generators were installed last year, but most of these were at private residences rather than essential facilities. Town staff are not aware of any gas stations that have implemented generators to keep themselves open during power outages, but there may be one gas station with a generator that serves a cell tower. Town staff will check whether this generator is sufficient to operate the fuel pumps.
2	1-1, 2-1	<b>Reduce and Manage Debris</b> Update and implement the debris management plan, including the Tree Management Plan. Ensure budget allocates appropriate money necessary to maintain and remove dead, dying, dangerous, and diseased trees in rights-of-way and other town-owned land, especially along the CT River.	7	2-1	<b>Dam Inundation Study</b> Perform dam inundation studies or identify dam inundation mapping to identify the flood risk posed by the loss of the Northern Pond Dam and the two additional dams on Shadow Lane, and any potential future dam failure. This is in progress. The town hired an engineer to do a study on the two Shadow Lane dams due to concerns with Shadow Brook and undersized infrastructure downstream, but has not yet received the results. There is reportedly a flooding concern along the corridor of shadow brook. This is related to the Nooks Hill Road flooding (see action #4) and sometimes requires road closure. There is also a commercial property with warehouses in the vicinity that has experienced flooding (including multiple feet of water in the building in 2021).
3	2-1, 3-1	<b>Promote Private Property Mitigation</b> Support residents search for funding for elevation and flood proofing their property by disseminating HMA grant information, educating real estate agents, and making HMA informational brochures and pamphlets available at public places such as town halls and libraries. Maintain a public webpage with relevant links and necessary contact information for floodplain managers and town officials. Support home/business owners with benefit cost analysis. (new)	8	2-1	<b>Support Repetitive Loss Properties</b> Provide information, support, and financial advice to homeowners of Repetitive Loss properties regarding possible mitigation activities. Assist with grant applications and associated benefit cost analysis. No progress here. The town has no current plans to acquire any RL properties for open space, but it might be an applicable strategy in some sites in the future.
4	2-1	<b>Implement mitigation strategies</b> identified for South Street near railroad overpass and at Nooks Hill Road near the railroad overpass to prevent street and property flooding in those areas.	9	2-1	<b>Replace Culverts prone to Flooding</b> Identify and replace culverts along the Connecticut River that contribute to flooding and water quality issues. This is still needed. One of the identified culverts is the South Street culvert that conveys Cromwell Creek, which is related to the South Street underpass concern (see action #4). Another culvert of concern runs under Pierson Park and also conveys Cromwell Creek. There are also two culverts on Evergreen Road that were overtopped last year; Evergreen Road required some repairs afterward. There is also a culvert on Cedar Drive that was overtopped three times over the last year. Storm waters picked up a lot of debris on private property, which then clogged the culverts and led to overtopping. CIRCA will check to make sure these areas are reflected in the delineated Zones of Shared Risk for Resilient Connecticut 2.0.
5	2-1	<b>Mitigate Riverside Drive Bank Erosion</b> Perform an engineering study on the river bank adjacent to Riverside Drive. Install heavy rain drains to limit rainfall erosion and investigate bank stabilization projects. Assist homeowners in finding solutions to protecting property near the area of erosion, including grant funding.	10	2-1, 3-1	<b>Protect Historic and Cultural Resources.</b> Use recently published GIS inventory or historic and cultural resources, along with published best management practices to inform owners of methods and resources to make at risk resources more resilient No progress here. The town reportedly does not have that many historic resources at risk of flooding. There are some older homes, but most are on higher ground. There are a few older homes near the Connecticut River but nothing specific has been done about improving their resiliency.

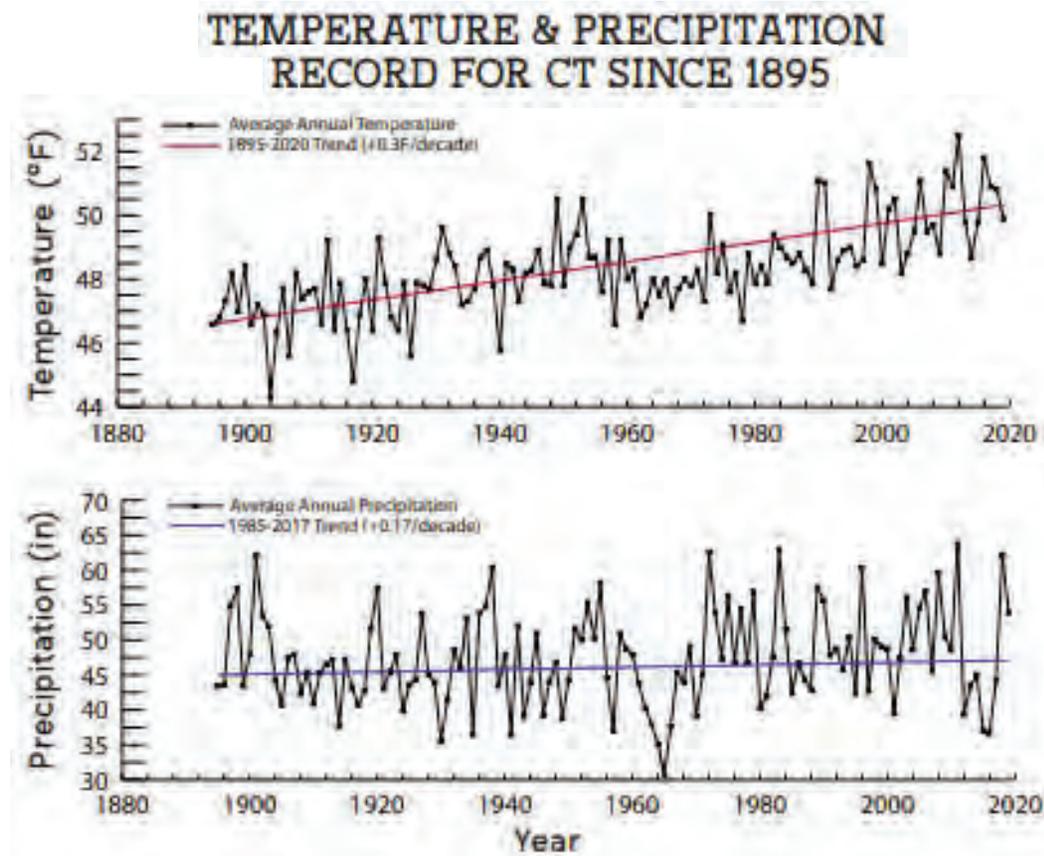
Source: Cromwell Resilient Connecticut Meeting, RiverCOG



# GREENHOUSE GAS (GHG) EMISSIONS

- 2018 Connecticut Greenhouse Gas Emissions Inventory tracks the state's progress towards GHG emission goals.
  - 2030 Goal: target of 45% below 2001 levels by 2030
  - 2050 Goal: target of 80% below 2001 levels by 2050
- State is not on track to meet its 2030 and 2050 goals.
  - Emissions in commercial, industrial, and transportation sectors have increased since 1990.
- Largest-emitting emissions sectors
  - Transportation: 37.4%
  - Electricity Consumption: 19.1%
  - Residential: 18.0%

# STATE TEMPERATURE AND PRECIPITATION HISTORICAL RECORDS

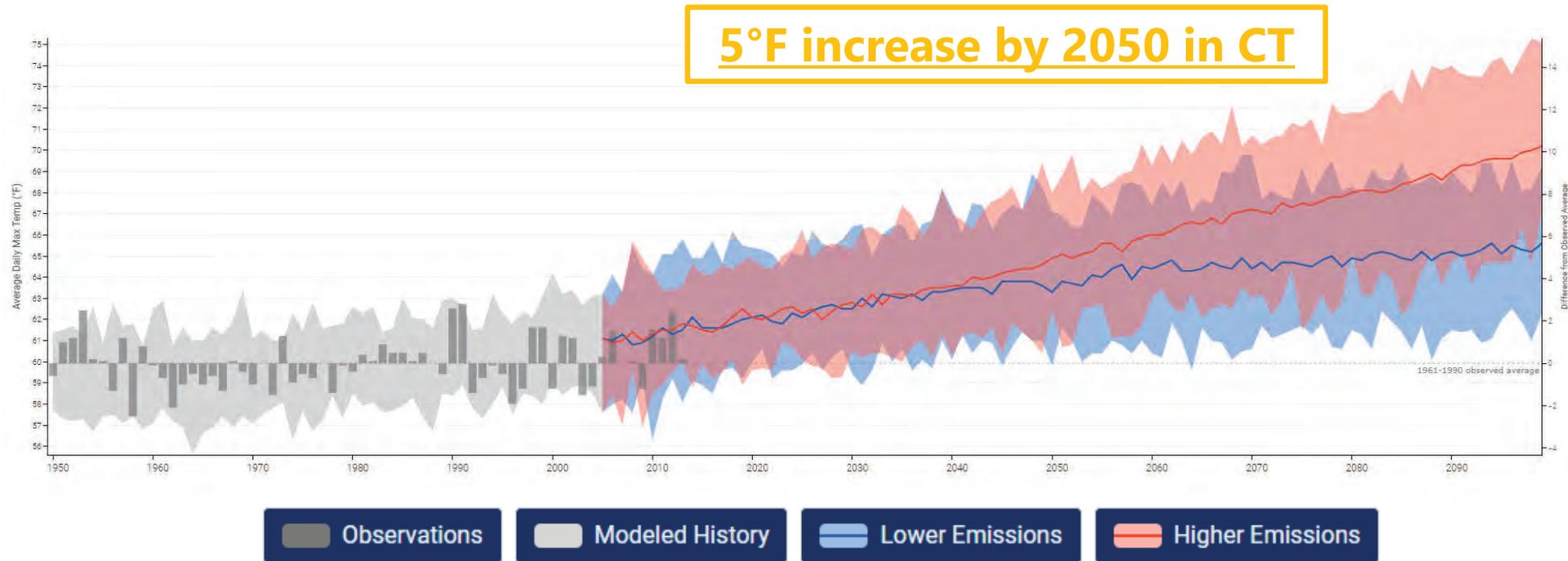


Source: CIRCA Resilient CT, Connecticut Physical Climate Assessment Report Fact Sheets 2020

- Historical records of state temperature and precipitation show overall increase in temperature and precipitation in Connecticut since 1895.

# COUNTY TEMPERATURE RISE PROJECTIONS

## Middlesex County – Average Daily Maximum Temp (°F)



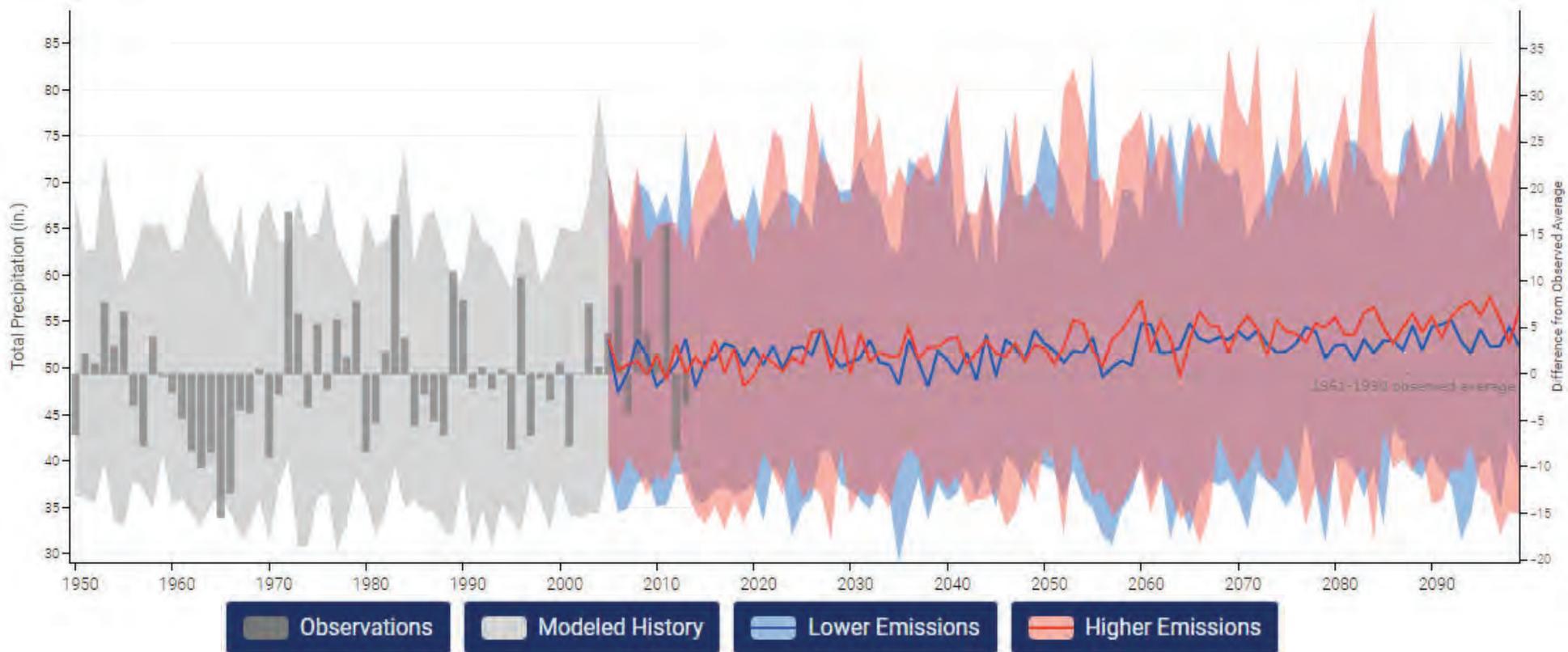
Source: *The Climate Explorer*

- Global average temperatures are rising with severe heat events becoming more frequent
- Greenhouse gas emissions are a top contributor to increasing temperatures
- **Lowering GHG emissions** can lessen severity of rising temperatures
- Increased temperatures have a direct effect on increased levels of precipitation

# COUNTY PRECIPITATION PROJECTIONS

## Middlesex County – Total Precipitation

**Average precipitation may increase up to 8% by 2050 in CT**

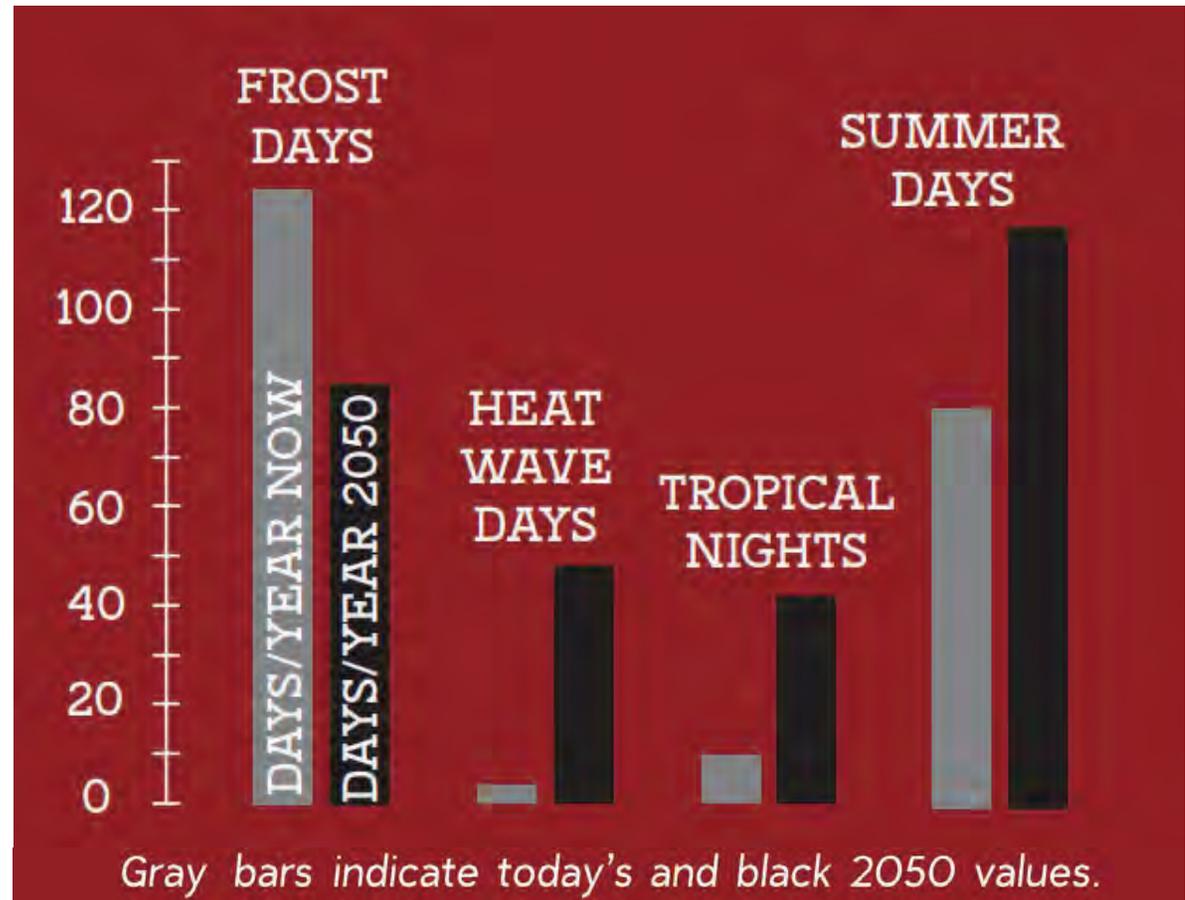


Source: The Climate Explorer

- Severe rainfall events are becoming more frequent.
- Increased rainfall intensifies issues related to sea level rise and flooding.
- Increased rainfall can overload city sewer and storm drains.

# ANNUAL STATE COUNTS WEATHER INDICES CURRENT VS. PROJECTION

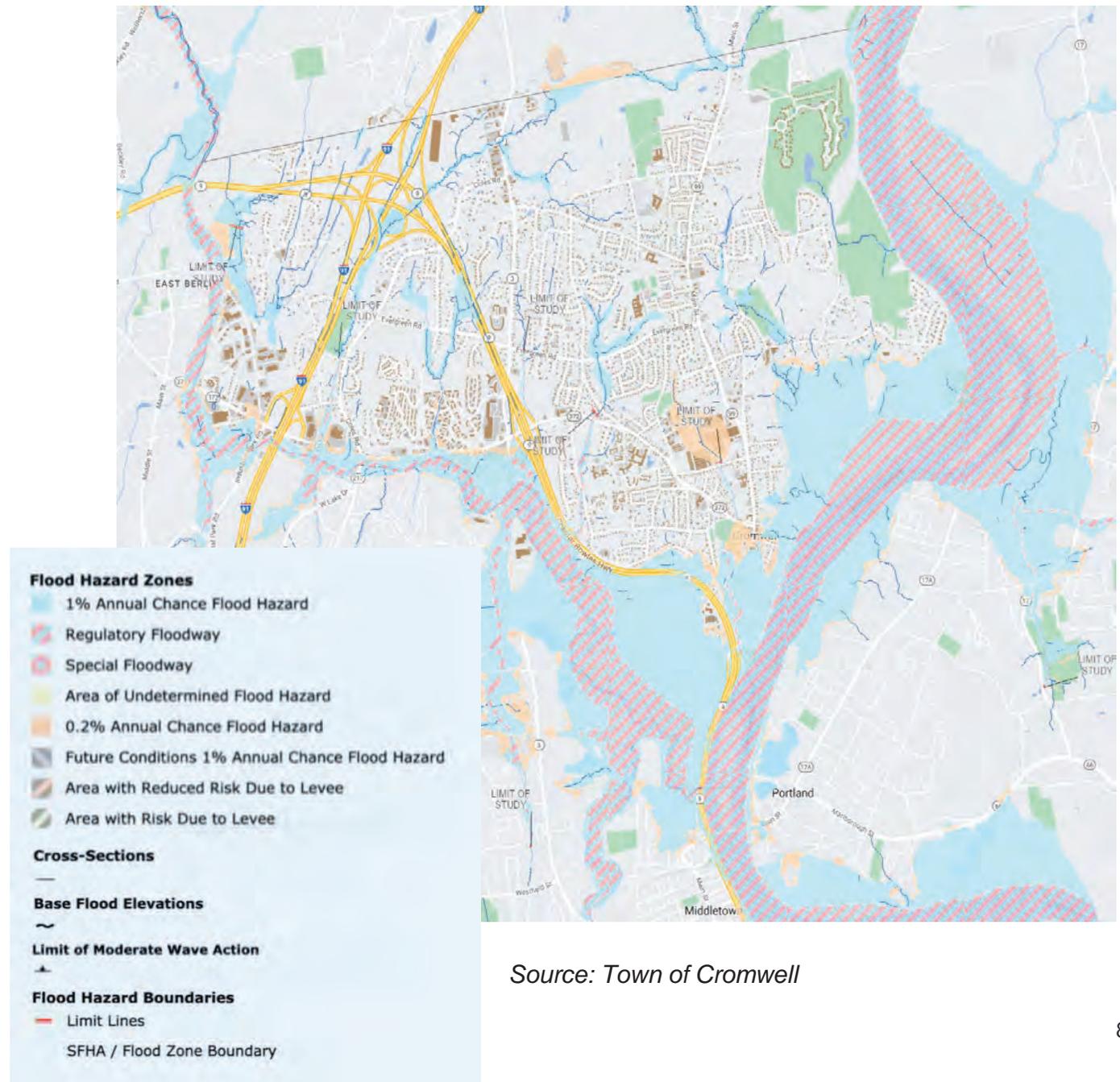
- “Indices are tools used to track trends and projections in local climate. Extreme indices help quantify impacts of a warming climate on weather measurements.”
- Projected increase in number of heat wave days, tropical nights, and summer days in 2050.
- Projected decrease in number of frost days in 2050.
- Extreme heat events place vulnerable populations at risk, strain energy infrastructure due to increased cooling demands, and threaten ecosystem well-being.



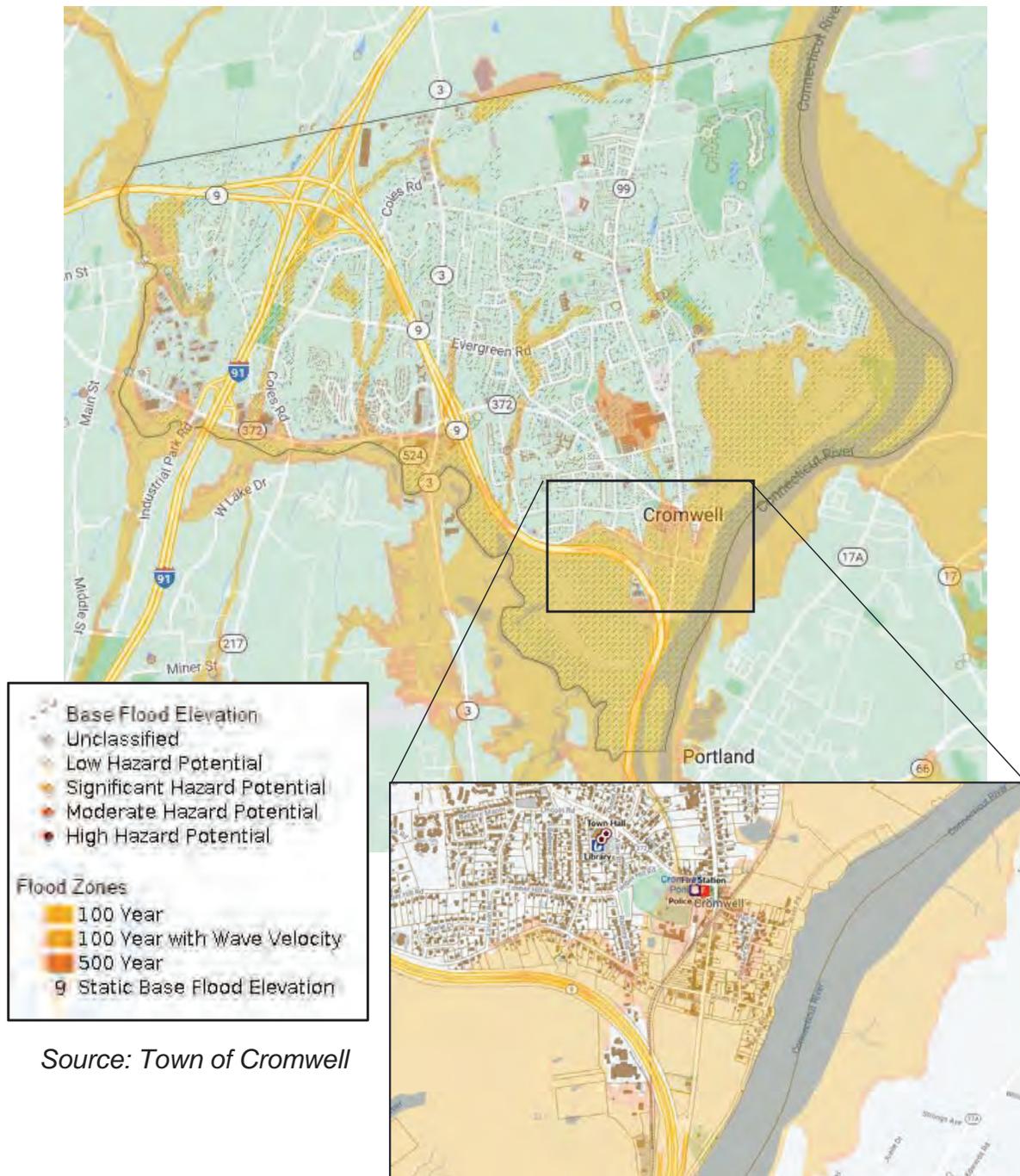
Source: CIRCA Resilient CT, Connecticut Physical Climate Assessment Report Fact Sheets 2020

# FEMA FLOOD ZONES FLOOD RISK

- FEMA flood zones mainly along riverbanks of Connecticut River, Mattabasset River and smaller waterways throughout the Town.
- Important Town infrastructure falls within the 1% annual chance flood zones and 0.2% annual chance flood zones.



# FLOOD RISK

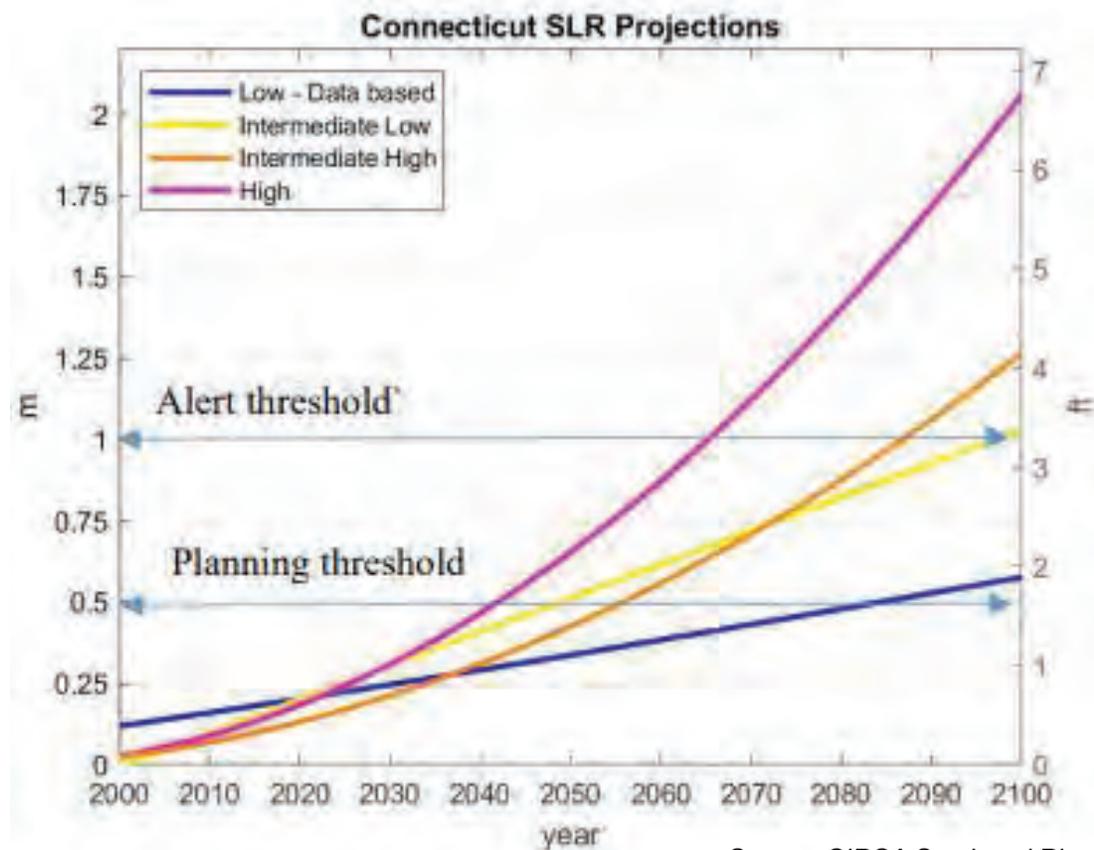


Source: Town of Cromwell

- Much of the Southern region of Cromwell is within the 1% annual chance floodplain.
- Cromwell Resilient CT meeting highlighted critical Town infrastructure within flood zones:
  - Fire Station (3 West St.) and Police Department located in .2% annual chance floodplains
    - The Police Station doesn't have a generator but the Fire Station does
    - Both buildings flooded in Summer 2021
  - Stop & Shop
- Cromwell Resilient CT meeting noted sewer trunk link with pond near Shunpike as an area of concern.

Source: Town of Cromwell Resilient CT Meeting

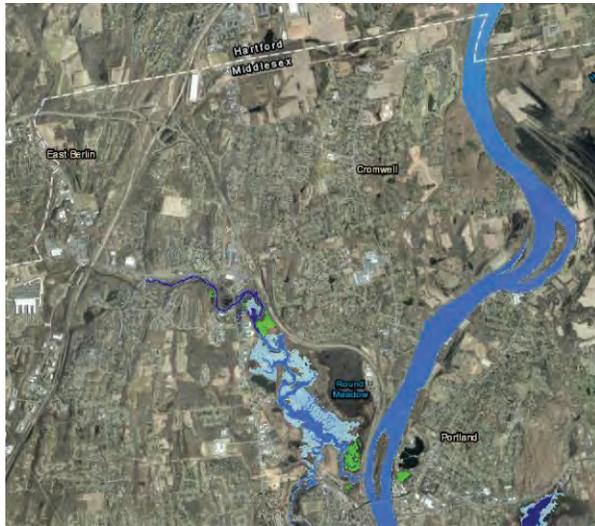
# STATE SEA LEVEL RISE PROJECTIONS



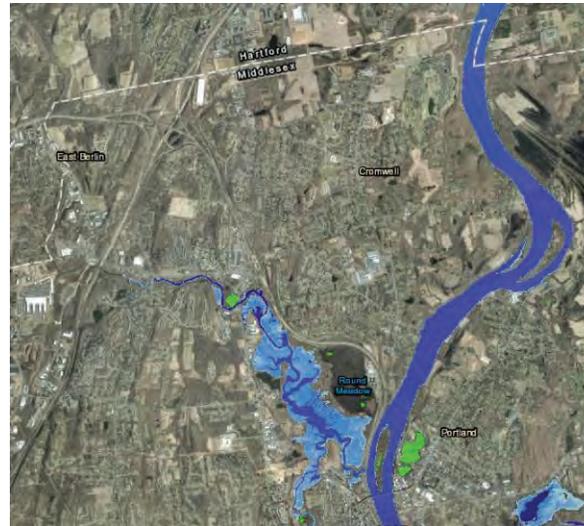
Source: CIRCA Sea Level Rise in Connecticut Final Report 2019

- State-level projections of sea level rise.
- CIRCA planning threshold between 1-2 ft. ; long term (alert) threshold a little above 3 ft.

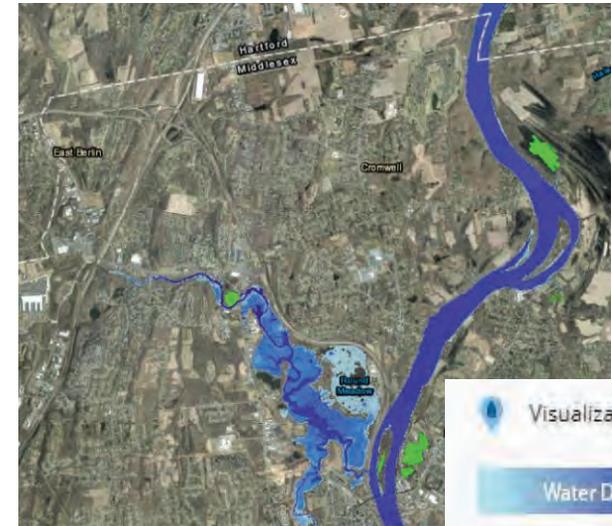
# CROMWELL SEA LEVEL RISE & FLOODPLAIN



1 ft. of sea level rise



2 ft. of sea level rise



3 ft. of sea level rise



Source: NOAA Sea Level Rise Viewer

- Map represents water on daily basis during high tide.
- The green in the above maps represent “low-lying areas” that may be newly inundated during high tide under future sea level rise scenarios.
- The water level represented in the maps do not account for storm surges or effects of extreme weather.

# SUSTAINABILITY

## Sustainable CT Program

- Cromwell registered with the Sustainable Connecticut Program in 2018.
- Still need to submit actions to earn certification.



**1. Thriving Local Economies**

**2. Well-Stewarded Land and Natural Resources**

**3. Vibrant and Creative Cultural Ecosystems**

**4. Dynamic and Resilient Planning**

**5. Clean and Diverse Transportation Systems and Choices**

**6. Efficient Physical Infrastructure and Operations**

**7. Strategic and Inclusive Public Services**

**8. Healthy, Efficient and Diverse Housing**

**9. Inclusive and Equitable Community Impacts**

**10. Innovation Action**

# CLIMATE RESILIENCE TAKEAWAYS

1. Cromwell has resilience initiatives at the State, Regional level, and a local Hazard Mitigation Plan identifying primary climate risks and actions to take in the future.
2. Global average temperatures are rising, creating more frequent and severe weather events, including:
  - Increased frequency of flooding and storm surges
  - Increased extreme heat events
  - Rapidly accelerating rise in sea levels
  - Increased threat to public health, infrastructure, and ecosystem services
  - Lowering GHG emissions has the potential to lessen the severity of rising temperatures.
3. FEMA flood zones are mainly located in the Southern region of Cromwell.
  - Riverbanks of Connecticut River, Mattabasset River and smaller waterways throughout the Town.
  - Infrastructure in areas of flood concern: Fire Station at 3 West St., the Police Department, Stop & Shop.
4. Cromwell is registered with Sustainable CT Program and would benefit from implementing actions towards certifications and to enhance climate resilience.